2023 VTrans Bicycle and Pedestrian Grant Application - **Request for Additional Funds**

1. Project Title: River Street Sidewalk Improvement Project
2. Existing Project Name/Number Windsor TCSP TCSE(008)
3. Applicant Name(s): Town of Windsor
4. Project Contact Info:
   a. Name: Tom Marsh
   b. Mailing Address: 26 Union Street
   c. Town: Windsor
   d. Zip Code: 05089
   e. Email Address: tmarsh@windsorvt.org
   f. Phone Number: (802) 674-6786
5. Fiscal Information:
   a. Accounting System ☑ Automated ☐ Manual ☐ Combination
   b. Unique Entity Identifier # 03-6000778
   c. Fiscal Year End Month June
6. RPC(s) Mount Ascutney Regional
7. Project Description:

Please give a brief description of the project (100 words or less.) Detailed information should be submitted as part of addressing the selection criteria. Be sure to include identifying streets or landmarks that the proposed project accesses.

The funding for this project [Windsor TCSP TCSE(008)] is based on an earmark secured by then Senator Jeffords. The original grant agreement #CA0174 between the town of Windsor and VTrans is dated March 22, 2006. Phases I and II were completed many years ago.

The Phase III of the project will make streetscape improvements to enhance the walkability and pedestrian safety along River Street, from the intersection of Main Street and River Street and to the intersection of River and Jarvis Streets.

8. **TOTAL ADDITIONAL FUNDING AMOUNT APPLIED FOR: (taken from the attached "*Additional Funding Worksheet*", including 20% local share)** $ 125,620

2023 VTrans Bicycle/Pedestrian Program – Additional Funding Criteria Template

Applicant Name: Town of Windsor

Existing Project Name and Number: River Street Sidewalk Improvement Project [TCSP TCSE(008)]

Brief Project Description: The Phase III of the project will make streetscape improvements to enhance the walkability and pedestrian safety along River Street, from the intersection of Main Street and River Street to the intersection of River and Jarvis Streets. The purpose of the project is to make sidewalk improvements, allowing for a wider sidewalk surface and improved safety for residents in a low-income neighborhood to walk to downtown Windsor.

Application Checklist

Make sure everything is included and pages numbered.

☒ (1) Project Application Form (separate PDF file)

All other materials noted below to be provided in the same order as below.

☒ (2) Project Evaluation Criteria Documentation for the project (completed BELOW)

☒ (3) Copy of Right of Way clearance from VTrans and estimated schedule to complete contract plans and bid documents with estimated bid advertising date

☒ (4) Project Map(s)

☒ (5) Budget support information (e.g. detailed cost estimate)

☒ (6) Additional Funds Calculator output (use VTrans provided Excel file)

☒ (7) RPC review confirmation letter

☒ (8) Current letter of support from the municipal governing body acknowledging their willingness to provide the local match and future maintenance responsibility

☒ (9) Supporting Documentation (documentation of need for additional funds)

REQUESTS FOR ADDITIONAL FUNDING

1. **Project Funding Need – 20 Points:** Describe the situation that led to the need to apply for additional funds.

This is a legacy project that was initially funded through an earmark from Senator Jeffords. Additional funds are needed due to project delays and inflationary cost increases. This project has gone through numerous changes in town personnel, including a number of Town Managers and community development staff. Most recently, the community development person in charge of aspects of the project, including the temporary easements, resigned. Now the MPM from the RPC is working on that with town staff. The project scope needed to be adjusted a few years ago, due to the costs and difficulty dealing with the railroad. The project has also had difficulty getting landowners to sign the easement documentation. Lastly, inflation in material and personnel costs have increased substantially over the last several years.

11-20 Points – Presents valid unforeseeable causes of budget increases – e.g. permitting requirements, changes to scope The largest driver of the project cost increases has been the increase in materials and personnel. The rate of inflation over the last several years was unforeseen when developing the original budget.

0-10 Points – The Town of Windsor is a small town with very limited staff to work on this project. To try and save money, they tried to use their own staff and not contract for the services. The town has changed course and has hired the Mount Ascutney Regional Commission to assist with getting the easements signed.

2. **Funding Documentation – 10 Points:** Provide any explanatory text regarding documentation of the project budget shortfall.

The original Phase III funding of $193,630 from 2016 (CA0174, Amendment #5) is not sufficient to complete the project scope at this time. On April 12, 2023, we received an updated project cost estimate from Marble Valley Engineering. The significant increase in construction costs was from $123,356.00 to $225,000.00; an increase of $101,644.00. There are corresponding cost increases for design, project management, and construction inspection. (See additional information in the attachments.)

6-10 Points – Presents clear historical and future funding outline utilizing the provided worksheet.
(See attachment)
0-5 Points – Presents historical and future funding outline in alternate format, or information presented is incomplete or unclear.

Copy of Right of Way Clearance

Copy of Right of Way clearance from VTrans and estimated schedule to complete contract plans and bid documents with estimated bid advertising date

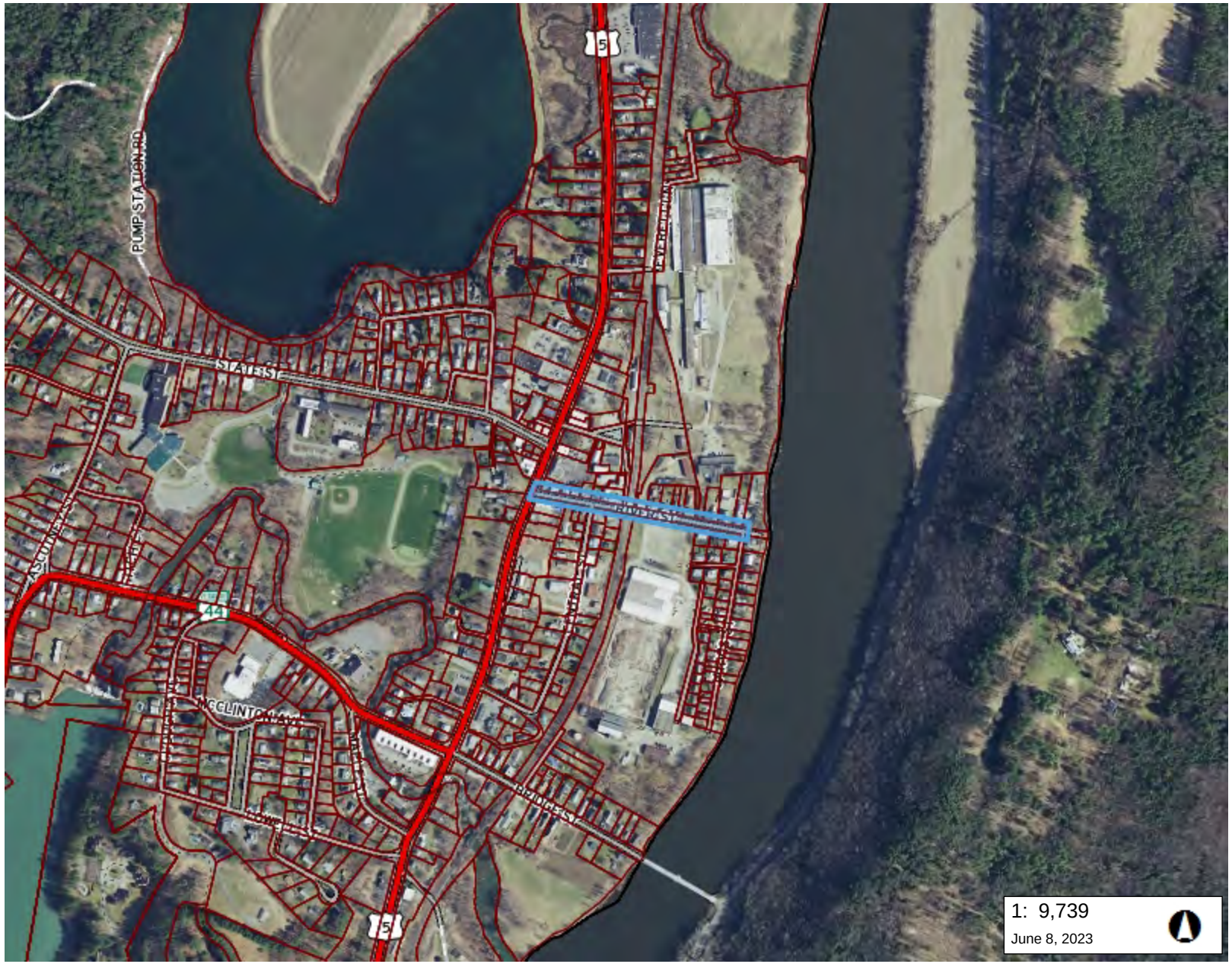
At the present time, this project is still in the Right-of-Way phase. We have four temporary easements that still need to be signed. We are currently working on that, and plan to knock on doors this summer accompanied by Windsor police. No clearance has been issued yet.

We anticipate going to construction during the summer of 2024, if we can successfully obtain ROW clearance. If condemnation is required for an unresponsive property owner(s), it may not go to construction for another year.

River St Sidewalk Improvement Location Map

Vermont Agency of Natural Resources

vermont.gov



LEGEND

- Parcels (standardized)
- Roads
  - Interstate
  - US Highway; 1
  - State Highway
  - Town Highway (Class 1)
  - Town Highway (Class 2,3)
  - Town Highway (Class 4)
  - State Forest Trail
  - National Forest Trail
  - Legal Trail
  - Private Road/Driveway
  - Proposed Roads
- Town Boundary

NOTES

Map created using ANR's Natural Resources Atlas

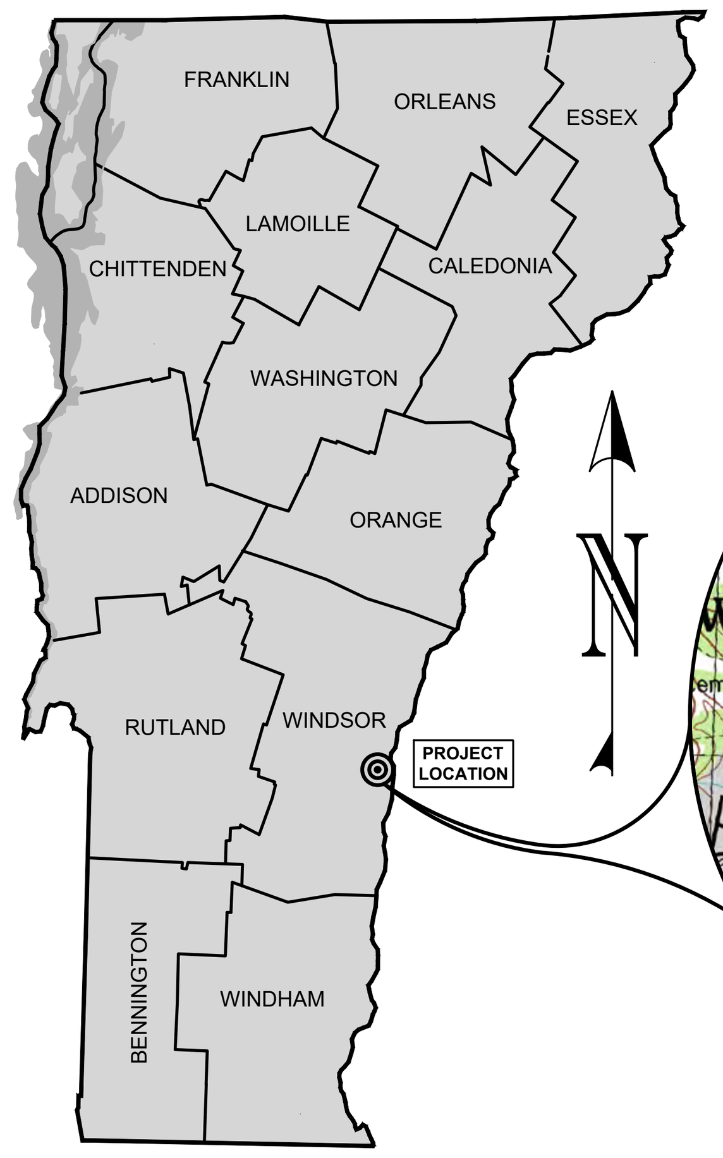
495.0 0 248.00 495.0 Meters

WGS_1984_Web_Mercator_Auxiliary_Sphere 1" = 812 Ft. 1cm = 97 Meters

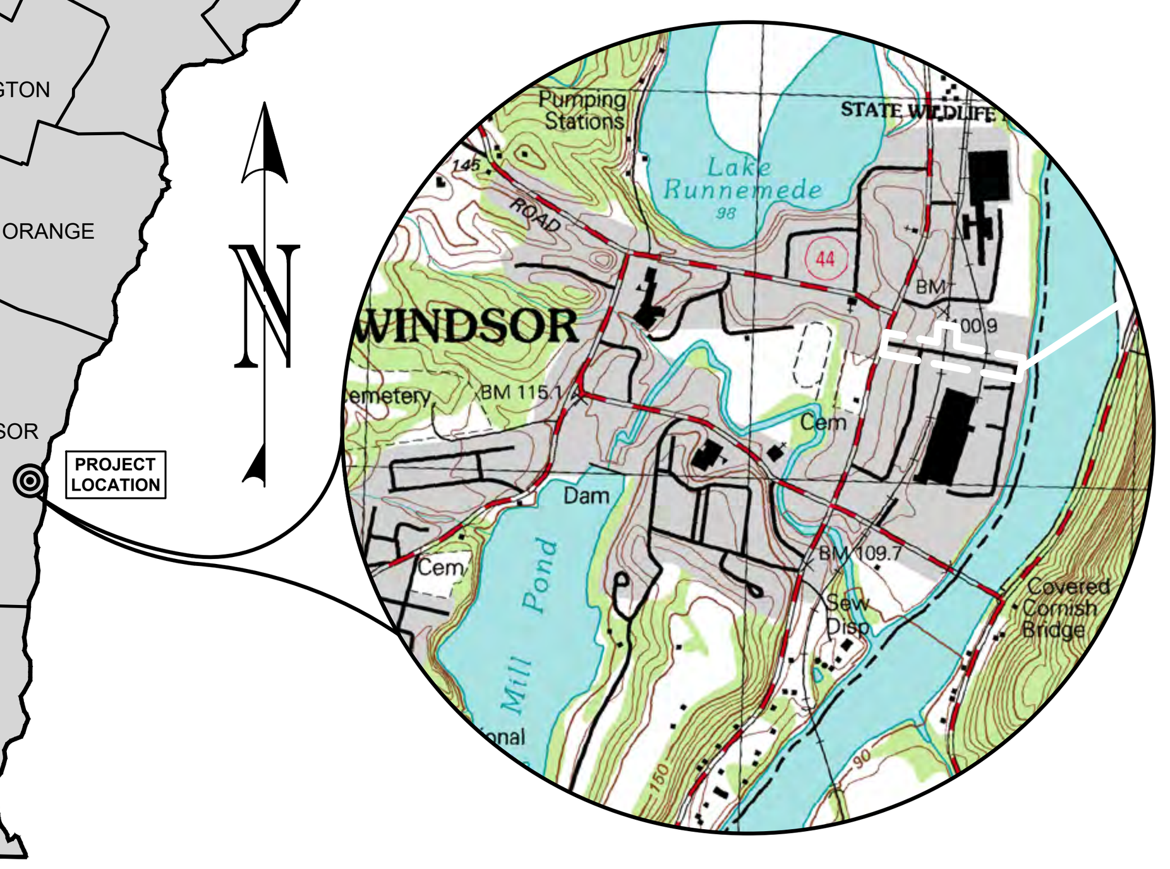
THIS MAP IS NOT TO BE USED FOR NAVIGATION

PLANS FOR CONSTRUCTION OF
WINDSOR TCSP TSCE (008) C/3
WINDSOR STREETSCAPES
WINDSOR, VERMONT

FEBRUARY, 2020



LOCATION MAP
NOT TO SCALE



PROJECT SITE

VICINITY MAP
SCALE: 1" = 500'

SHEET SCHEDULE

G001	COVER
G002	ABBREVIATIONS & NOTES
G003	QUANTITIES
C001	TYPICAL DETAILS
C002	LAYOUT PLAN & PROFILE - RIVER STREET WEST
C003	LAYOUT PLAN & PROFILE - RIVER STREET EAST
C004	CROSS SECTIONS (1 of 2)
C005	CROSS SECTIONS (2 of 2)
C006	TRAFFIC CONTROL PLAN
C007	ROW PLAN - WEST
C008	ROW PLAN - EAST
C009	ROW DETAIL SHEET
C010	ROW TIE SHEET
C011	EPSC MEASURES & DETAILS

PROJECT LOCATION:

BEGINNING AT MAIN STREET AND EXTENDING APPROXIMATELY 310 LINEAR FEET ALONG THE SOUTH SIDE OF RIVER STREET TO CENTRAL STREET; BEGINNING AT ACME STREET AND EXTENDING APPROXIMATELY 460 LINEAR FEET TO THE WEST ALONG THE NORTH SIDE OF RIVER STREET.

LENGTH OF PROJECT: ±770 LF
LENGTH OF SIDEWALK: ±530 LF

PROJECT DESCRIPTION:

WORK TO BE PERFORMED UNDER THIS PROJECT INCLUDES THE CONSTRUCTION OF CONCRETE SIDEWALK, GRANITE CURB AND INCIDENTAL ITEMS.

CLASSIFICATION:

URBAN LOCAL STREET

VTRANS QUALITY ASSURANCE PROGRAM:

LEVEL 3

SPECIFICATIONS:

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE VTRANS 2018 STANDARD SPECIFICATIONS FOR CONSTRUCTION

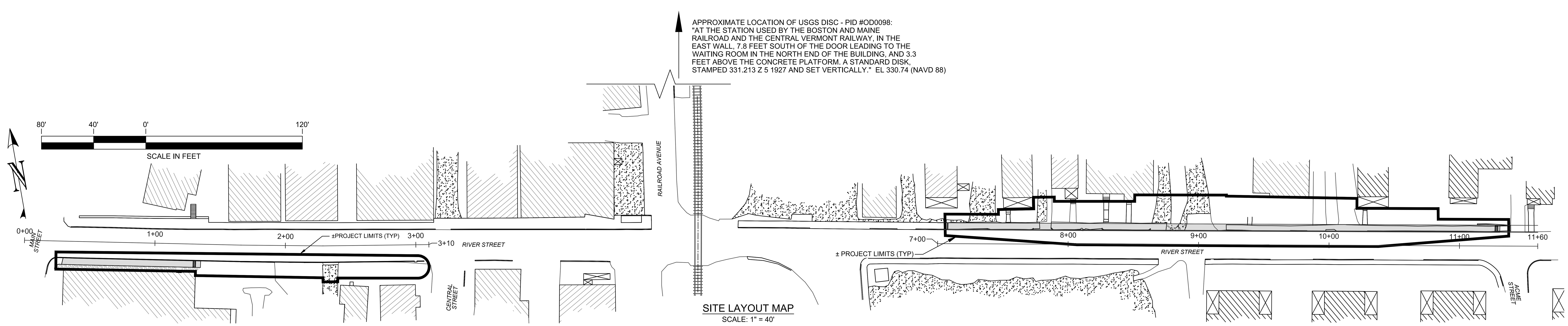
SURVEY CONTROL:

BASED ON NAD 83 & USES DISC-PID #OD0098

VTRANS STANDARD SHEETS

SHEET#	TITLE	DATE
C-2A	PORTLAND CEMENT CONCRETE SIDEWALK DRIVE ENTRANCES WITH SIDEWALK ADJACENT TO CURB	10-14-05
C-2B	PORTLAND CEMENT CONCRETE SIDEWALK DRIVE ENTRANCES WITH GREEN STRIP	10-14-05
C-3A	SIDEWALK RAMPS	3-10-08
C-3B	SIDEWALK RAMPS AND MEDIAN ISLANDS	3-10-08
C-10	CURBING	2-11-08
E-121	STANDARD SIGN PLACEMENT CONVENTIONAL ROAD	8-8-95

APPROXIMATE LOCATION OF USGS DISC - PID #OD0098:
"AT THE STATION USED BY THE BOSTON AND MAINE RAILROAD AND THE CENTRAL VERMONT RAILWAY, IN THE EAST WALL, 7.8 FEET SOUTH OF THE DOOR LEADING TO THE WAITING ROOM IN THE NORTH END OF THE BUILDING, AND 3.3 FEET ABOVE THE CONCRETE PLATFORM. A STANDARD DISK, STAMPED 331.213 Z 5 1927 AND SET VERTICALLY." EL 330.74 (NAVD 88)



SITE LAYOUT MAP
SCALE: 1" = 40'

REV.	DESCRIPTION	BY	DATE

MARBLE VALLEY ENGINEERING, PC
CIVIL & STRUCTURAL
775 - 1181
69 GROVE STREET, RUTLAND, VERMONT
WWW.MARBLEVALLEYENGINEERING.COM

NOT FOR CONSTRUCTION
PROGRESS PRINT

CIVIL ENGINEER

PLANS FOR CONSTRUCTION OF
WINDSOR TCSP TSCE (008) C/3
WINDSOR STREETSCAPES
WINDSOR, VERMONT
COVER

PROJECT NO.: M1104
DRAWN BY: PGF / SMC / RML
SCALE: AS NOTED
DATE: FEBRUARY 20, 2020

SHEET: G001

GENERAL NOTES:

1. THESE PLANS ARE TO BE USED WITH THE VTRANS 2018 STANDARD SPECIFICATIONS FOR CONSTRUCTION
2. THE CONTRACTOR IS REQUIRED TO LOCATE AND MARK ALL EXISTING UTILITIES WITHIN, AND IF NECESSARY, BEYOND THE PROJECT LIMITS INCLUDING EXISTING WATER MAINS, SANITARY SEWERS, STORM SEWERS, CULVERTS, CURB STOPS, PROPERTY MARKERS, ETC. ALL EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. CONTRACTOR TO FIELD LOCATE & FLAG EXISTING UTILITIES USING A PIPE LOCATOR OR AS REQUIRED, PRIOR TO CONSTRUCTION. IF CONTRACTOR DOES NOT HAVE NECESSARY EQUIPMENT, OR AN EXPERIENCED OPERATOR, THEN CONTRACTOR SHALL HIRE SUCH SERVICES, TO BE INCLUDED IN THE BID. CONSTRUCTION SHALL NOT PROCEED IN ANY AREA WHERE EXISTING MAINS/ SERVICES/ UTILITIES HAVE NOT BEEN LOCATED TO THE CONTRACTOR'S BEST ABILITY TO DO SO. CONTRACTOR SHALL COORDINATE WITH DIG SAFE (1-888-DIG-SAFE) A MINIMUM OF 72 HOURS PRIOR TO EXCAVATION.
3. AT LEAST SEVEN (7) DAYS PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE TOWN OF WINDSOR TO ALLOW TIME FOR PREPARATION OF ANY NECESSARY MEASURES.
4. CONTRACTOR SHALL NOT DISRUPT UTILITY SERVICES OR TRAFFIC FLOW WITHOUT A 48-HOUR NOTICE TO ALL AFFECTED PARTIES INCLUDING BUT NOT LIMITED TO: NEW ENGLAND CENTRAL RAILROAD, GENESEE & WYOMING, INC., THE TOWN FIRE DEPARTMENT AND THE TOWN MANAGER.

4.1. CONTRACTOR SHALL EXERCISE DUE CARE TO PREVENT DAMAGE TO ROOT SYSTEMS OF EXISTING VEGETATION. ALL GRASS AREAS DISTURBED SHALL BE RESTORED TO CLASS A RESTORATION. CONTRACTOR IS RESPONSIBLE FOR REMOVAL, CARE, & REPLANTING OF ALL PLANTINGS AND SHRUBS DISTURBED DURING CONSTRUCTION.

4.2. CONTRACTOR SHALL CONTACT THE LOCAL POWER UTILITY & THE LOCAL TELEPHONE UTILITY REGARDING ANY NECESSARY SUPPORT OF ANY UTILITY POLES DURING CONSTRUCTION. THE LOCAL ELECTRIC UTILITY IS GREEN MOUNTAIN POWER (802-751-3210). THE LOCAL TELEPHONE UTILITY IS CONSOLIDATED COMMUNICATIONS (802-584-9911 or 866-984-2001).

4.3. CONTRACTOR SHALL MAKE EVERY EFFORT TO ALLOW ACCESS TO AND FROM DRIVEWAYS LOCATED ALONG THE ROUTE OF CONSTRUCTION.

4.4. CONTRACTOR SHALL MAINTAIN ONE LANE OPEN TO TRAFFIC AT ALL TIMES AND SHALL MINIMIZE IMPACTS TO AUTOMOBILE AND PEDESTRIAN TRAFFIC. ALL CONSTRUCTION SHALL COMPLY WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.

4.5. ANY SPOT ELEVATIONS ARE PROVIDED FOR REFERENCE ONLY. FINAL ELEVATIONS MAY VARY AS NECESSARY TO MAINTAIN DRAINAGE AND COMPLIANCE OF ALL SIDEWALK IMPROVEMENTS WITH AMERICAN DISABILITIES ACT REQUIREMENTS, AND THE CONTRACT DOCUMENTS, LATEST VERSIONS. TRUNCATED DOMES ARE A REQUIREMENT FOR THIS PROJECT. REFER TO VAOT DETAIL DRAWINGS REFERENCED.

4.6. REFER TO ADDITIONAL DETAILS ON SHEET C001 FOR SIDEWALK, RAMP, CURB, CROSSWALK, DRIVES, AND OTHER APPURTENANT CONSTRUCTION REQUIREMENTS.

4.7. CONTRACTOR SHALL COMPLY WITH THE LOW RISK SITE HANDBOOK FOR EROSION PREVENTION AND SEDIMENT CONTROL.

5. CONTRACTOR SHALL MAINTAIN AND PROTECT SITE IN ACCORDANCE WITH ANY PERMIT(S) ISSUED.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL NECESSARY STATE AND LOCAL PERMITS HAVE BEEN OBTAINED PRIOR TO STARTING CONSTRUCTION.
7. ALL ELEVATIONS AND DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
8. THE CONTRACTOR SHALL BE ULTIMATELY RESPONSIBLE FOR ENSURING THAT ALL WORK IS DONE IN A SAFE AND RESPONSIBLE MANNER.

SURVEY / BOUNDARY NOTES:

1. ALL RIGHT-OF-WAY AND PROPERTY LINE INFORMATION WAS ASSIMILATED THROUGH A COMPILATION OF VARIOUS SOURCES INCLUDING BUT NOT LIMITED TO THE STATE OF VERMONT AGENCY OF TRANSPORTATION, TOWN OF WINDSOR, VERMONT TAX MAPPING RECORDS, A CONSTRUCTION PLAN SET PREPARED BY DUFRESNE GROUP - DATED MAY 2013, AND FIELD SURVEY DATA FROM VERMONT SURVEY CONSULTANTS, LLC (VSC). INFORMATION SHOWN IS FOR GENERAL LOCATION PURPOSES ONLY. MARBLE VALLEY ENGINEERING, PC WILL NOT BE HELD LIABLE FOR ANY ERRORS AND OMISSIONS WHICH HAVE BEEN INCORPORATED INTO THIS DOCUMENT AS A RESULT OF INFORMATION PROVIDED FROM OTHER SOURCES.
2. PRIOR TO CONSTRUCTION, ALL PROPERTY BOUNDARY LINES NEAR THE CONSTRUCTION AREAS (AS A MINIMUM) SHOULD BE ESTABLISHED BY FIELD SURVEY AND CLEARLY MARKED.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PRESERVE AND PROTECT ALL BOUNDARY MONUMENTATION. IF DAMAGED OR DESTROYED, BOUNDARY MARKERS SHALL BE RESET BY A VERMONT STATE REGISTERED LAND SURVEYOR.
4. TOPOGRAPHIC SURVEYS WERE PERFORMED BY VSC IN NOVEMBER & DECEMBER OF 2016, AND IN JANUARY 2017.
5. ALL NORTH ARROWS IN THIS PLAN SET REFERENCE GRID NORTH.
6. ALL WORK SHALL BE DONE IN PUBLIC RIGHT-OF-WAY OR EASEMENT AREAS.

PEDESTRIAN TEMPORARY TRAFFIC CONTROL NOTES

1. THE CONTRACTOR SHALL MAINTAIN PEDESTRIAN THROUGH MOVEMENTS FROM ONE END OF THE CONSTRUCTION AREA TO THE OTHER, ON AT LEAST ONE SIDE OF THE STREET DURING CONSTRUCTION. ANY SIDEWALK CLOSURES SHALL MEET THE REQUIREMENTS OF MUTCD, PART 6.
2. PEDESTRIAN ACCESS SHALL BE PROVIDED TO ALL ADJACENT PROPERTIES, BUILDINGS, RESIDENCES, AND COMMERCIAL PROPERTIES AT ALL TIMES. THIS MAY INCLUDE TEMPORARY WALKWAYS SPANNING THE CONSTRUCTION AREA.
3. IF SIDEWALKS ARE CLOSED, A TEMPORARY PEDESTRIAN ACCESS ROUTE (TPAR) MAY BE PROVIDED ON THE SAME SIDE OF THE ROAD AS THE CLOSED SIDEWALK, IF POSSIBLE. SIGNS AND BARRICADES SHALL BE USED TO PROVIDE ADVANCE NOTICE OF THE CLOSURE AND THE ROUTE OF ANY PEDESTRIAN DETOURS. THE TPAR SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF FOUR FEET. IF THE TPAR IS LESS THAN FIVE FEET IN WIDTH, THEN A FIVE FOOT BY FIVE FOOT PASSING SPACE SHOULD BE PROVIDED AT LEAST EVERY 200 FEET. THE SURFACE OF THE TPAR SHALL BE SMOOTH AND CONTINUOUS FOR THE LENGTH OF THE TPAR. THE TPAR SHALL MAINTAIN THE SAME LEVEL OF ACCESSIBILITY AND DETECTABILITY AS THE FACILITY THAT IS BEING CLOSED. THE TPAR SHALL NOT LEAD PEDESTRIANS INTO CONFLICTS WITH VEHICLES, EQUIPMENT, OR CONSTRUCTION OPERATIONS.
4. IF THE TPAR IS ADJACENT TO MOVING TRAFFIC, CONSTRUCTION OPERATIONS / EQUIPMENT, OR DROP OFFS, THEN CRASH WORTHY CHANNELIZING DEVICES THAT MEET THE REQUIREMENTS OF MUTCD SHALL BE USED.
5. THE CONTRACTOR SHALL NOT STORE OR PLACE ANY CONSTRUCTION MATERIALS, EQUIPMENT, OR SIGNS IN THE PEDESTRIAN PATH OF TRAVEL.
6. THE CONTRACTOR'S OPERATIONS SHALL NOT OCCUPY SIDEWALKS EXCEPT WHERE PROPER PROTECTION AND A TPAR HAVE BEEN PROVIDED.
7. THE CONTRACTOR SHALL PROVIDE A TEMPORARY PEDESTRIAN TRAFFIC CONTROL PLAN FOR REVIEW AND WRITTEN APPROVAL A MINIMUM OF THREE WEEKS BEFORE SUCH A PLAN IS IMPLEMENTED. THIS PLAN SHALL DETAIL THE CONSTRUCTION PHASING AND SCHEDULE AND THE SPECIFIC METHODS OF MAINTAINING SAFE PEDESTRIAN ACCESS THROUGHOUT THE CONSTRUCTION AREA. THIS PLAN SHALL PROVIDE THE LOCATION AND DETAILS OF TEMPORARY CONSTRUCTION SIGNING, MARKINGS, BARRICADES, CHANNELIZING DEVICES, TPARS, AND METHODS TO MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES, BUILDINGS, RESIDENCES, AND COMMERCIAL PROPERTIES.
8. SEE VTRANS BICYCLE AND PEDESTRIAN WORK ZONE GUIDE.
9. SEE CURRENT VTRANS PEDESTRIAN TPR NOTES.

LEGEND:

CONTROL POINT
GATE VALVE
CURB STOP
SANITARY SEWER MANHOLE
STORMWATER MANHOLE
TELECOMMUNICATION MANHOLE
CATCH BASIN (SQUARE)
CATCH BASIN (ROUND)
MONITORING WELL
UTILITY POLE
GUY WIRE
RAILROAD CROSSING SIGNAL
SIGN
IRON PIPE / ROD
MARBLE MONUMENT
CONCRETE BOLLARD
FIRE HYDRANT
DETECTABLE WARNING PLATE
PROPERTY LINE — $\mathcal{L}_{PL}$
RIGHT-OF-WAY LINE — $\mathcal{L}_{ROW}$
STORMWATER LINE — STM
POTABLE WATER MAIN — W_E
POTABLE WATER SERVICE LINE — $WSVC_E$
SANITARY SEWER MAIN — S_E
SANITARY SEWER SERVICE LINE — $SSVC_E$
OVERHEAD ELECTRIC LINE — OHE_E
UNDERGROUND ELECTRIC LINE — UG_E
UNDERGROUND TELECOMMUNICATIONS LINE — T
MAJOR CONTOUR (EXISTING) — 465
MAJOR CONTOUR (PROPOSED) — 465
MINOR CONTOUR (EXISTING) — 463
MINOR CONTOUR (PROPOSED) — 463
BITUMINOUS CONCRETE PAVED SURFACE
GRAVEL SURFACE
CONCRETE SIDEWALK AREA (EXISTING)
CONCRETE SIDEWALK AREA (PROPOSED)
VAOT 704.05A COMPACTED CRUSHED GRAVEL
VAOT 704.04 COMPACTED BANK RUN GRAVEL
LOAM AND SEED
GRANITE CURB (PROPOSED)
GRANITE CURB (EXISTING)
CHAIN LINK FENCE
WOOD FENCE
PROJECT LIMITS
DECIDUOUS TREE
CONIFEROUS TREE
SHRUB
PROPOSED CROSS WALK
RAILROAD TRACKS
SILT FENCE
BARRIER TAPE
STABILIZED CONSTRUCTION ENTRANCE
CHECK DAM
TOPSOILING
FILTER FABRIC INLET PROTECTION
EXCAVATED DROP INLET PROTECTION
TEMPORARY / PERMANENT SEEDING — TS/PS
MULCHING — M
FIBER ROLL — FR
WATER BAR — WB
VEGETATION PROTECTION WITH SILT FENCE OR CONSTRUCTION FENCE

ABBREVIATIONS KEY:

APPROX	- APPROXIMATE
AVE	- AVENUE
BIT	- BITUMINOUS
BLDG	- BUILDING
BM	- BENCHMARK
BOC	- BOTTOM OF CURB
BOTT	- BOTTOM
CB	- CATCH BASIN
CF	- CUBIC FEET
CI	- CAST IRON
$\mathcal{L}$	- CENTERLINE
CMP	- CORRUGATED METAL PIPE
C/O	- CLEANOUT
CONC	- CONCRETE
CONN	- CONNECT or CONNECTION
CONST	- CONSTRUCTION
CS	- CURB STOP
CTR	- CONTRACTOR
X-ING	- CROSSING
CU	- COPPER
CULV	- CULVERT
D	- DEPTH
EG	- EXISTING GROUND
ELEC	- ELECTRIC or ELECTRICAL
EL or ELEV	- ELEVATION
EPSC	- EROSION PREVENTION & SEDIMENT CONTROL
ETC.	- ET CETERA
EXIST	- EXISTING
f'c	- CONCRETE COMPRESSIVE STRENGTH
FG	- FINISH GROUND
FT	- FOOT OR FEET
GAL	- GALLONS
GRND	- GROUND
GRVL	- GRAVEL
H	- HORIZONTAL or HIGH
HDPE	- HIGH DENSITY POLYETHYLENE
HORIZ	- HORIZONTAL
HYD	- HYDRANT
IN	- INCHES
INV	- INVERT
IPF	- IRON PIN / PIPE FOUND
LOD	- LIMITS OF DISTURBANCE
MAT'L	- MATERIAL
MAX	- MAXIMUM
MH	- MANHOLE
MIN	- MINIMUM
N	- NORTH
N/F	- NOW OR FORMERLY
NIC	- NOT IN CONTRACT
NO.	- NUMBER
NTS	- NOT TO SCALE
OC	- ON CENTER
$\mathcal{P}_L$	- PROPERTY LINE
PL	- PROJECT LIMITS
PP	- POWER POLE
PSI	- POUNDS PER SQUARE INCH
PVMT	- PAVEMENT
R	- RADIUS
RCP	- REINFORCED CONCRETE PIPE
REINF	- REINFORCING or REINFORCED
REQ'D	- REQUIRED
RET	- RETAINER or RETAINING
ROW	- RIGHT-OF-WAY
RR	- RAILROAD
S	- SOUTH
SIP	- SPIKE IN POLE
SIR	- SPIKE IN ROOT
ST	- STREET
STA	- STATION
SW	- SIDEWALK
TB	- THRUST BLOCK
TBM	- TEMPORARY BENCH MARK
THK	- THICK
TOC	- TOP OF CURB
TYP	- TYPICAL
UG	- UNDERGROUND
UON	- UNLESS OTHERWISE NOTED
VAOT	- VERMONT AGENCY OF TRANSPORTATION (VTRANS)
W /	- WITH
WSO	- WATER SHUT-OFF
WWM	- WELDED WIRE MESH

REV.	DESCRIPTION	BY	DATE

MARBLE VALLEY ENGINEERING, PC
CIVIL & STRUCTURAL
775-1181
69 GROVE STREET, RUTLAND, VERMONT
WWW.MARBLEVALLEYENGINEERING.COM

NOT FOR CONSTRUCTION
PROGRESS PRINT

CIVIL ENGINEER

PLANS FOR CONSTRUCTION OF
WINDSOR TCSP TSCE (008) C/3
WINDSOR STREETSCAPES
WINDSOR, VERMONT
ABBREVIATIONS & NOTES

PROJECT NO.: M1104
DRAWN BY: PGF / SMC / RML
SCALE: NONE
DATE: FEBRUARY 20, 2020

SHEET: G002

QUANTITY SHEET

SUMMARY OF ESTIMATED QUANTITIES | TOTALS | DESCRIPTIONS

CATALOGUE NUMBER	1011	GRAND TOTAL	FINAL	UNIT	ITEMS	ITEM NUMBER	ROUND
		460.00		CY	COMMON EXCAVATION	203.15	
		1.00		CY	UNCLASSIFIED EXCAVATION (CONTINGENCY)	203.17	
		96.00		CY	EXCAVATION OF SURFACES AND PAVEMENT	203.28	
		10.00		CY	SAND BORROW (CONTINGENCY)	203.31	
		410.00		SY	COLD PLANING, BITUMINOUS PAVEMENT	210.10	
		110.00		CY	SUBBASE OF GRAVEL	301.15	
		160.00		CY	SUBBASE OF CRUSHED GRAVEL, FINE GRADED	301.26	
		20.00		CY	AGGREGATE SURFACE COURSE	401.10	
		80.00		TON	MARSHALL BITUMINOUS CONCRETE PAVEMENT	406.25	
		5.00		CY	CONCRETE, CLASS B (CONTINGENCY)	541.25	
		3.00		EA	CHANGING ELEVATION OF DROP INLETS, CATCHBASINS OR MANHOLES	604.40	
		1.00		EA	CAST IRON GRATE WITH FRAME, TYPE B (MODIFIED WITH CURB INLET)	604.46	
		10.00		CY	STONE FILL, TYPE I	613.10	
		550.00		LF	VERTICAL GRANITE CURB	616.21	
		234.00		LF	REMOVAL OF EXISTING CURB	616.41	
		65.00		TON	BITUMINOUS CONCRETE GUTTERS AND TRAFFIC ISLANDS	616.47	
		1.00		EA	RELOCATE MAILBOX, SINGLE SUPPORT (CONTINGENCY)	617.10	
		275.00		SY	PORTLAND CEMENT CONCRETE SIDEWALK, 5 INCH	618.10	
		25.00		SY	PORTLAND CEMENT CONCRETE SIDEWALK, 8 INCH	618.11	
		30.00		SF	DETECTABLE WARNING SURFACE	618.30	
		120.00		LF	REMOVING AND RESETTING FENCE	620.50	
		200.00		HR	FLAGGERS	630.15	
		1.00		LS	MOB / DEMOB	635.11	
		1.00		LS	TRAFFIC CONTROL	641.10	
		20.00		SY	GEOTEXTILE FOR ROADBED SEPARATOR	649.11	
		40.00		SY	GEOTEXTILE UNDER STONE FILL	649.31	
		10.00		LB	SEED	651.15	
		100.00		LB	FERTILIZER	651.18	
		100.00		CY	TOPSOIL	651.35	
		0.50		TON	HAY MULCH	653.10	
		0.50		TON	ROLLED EROSION CONTROL PRODUCT TYPE I	653.20	
		15.00		CY	STABILIZED CONSTRUCTION ENTRANCE	653.35	
		3.00		EA	INLET PROTECTION DEVICE, TYPE II	653.41	
		130.00		LF	SILT FENCE TYPE II	653.476	
		1130.00		LF	BARRIER FENCE	653.50	
		20.00		LF	EROSION LOG (CONTINGENCY)	653.60	
		1.00		EA	TRANSPLANTING SHRUBS (CONTINGENCY)	656.50	
		1.00		LS	TREE PROTECTION	656.85	
		1.00		EA	REMOVING SIGNS (CONTINGENCY)	675.50	
		1.00		EA	RESETTING SIGNS (CONTINGENCY)	675.60	
		10.00		LF	TRENCH DRAIN	900.540	
		20.00		LF	6 FOOT FENCE, VARIOUS MATERIALS (CONTINGENCY)	900.541	

DETAILED SUMMARY OF QUANTITIES

QUANTITIES	UNIT	ITEMS

REV.	DESCRIPTION	BY	DATE

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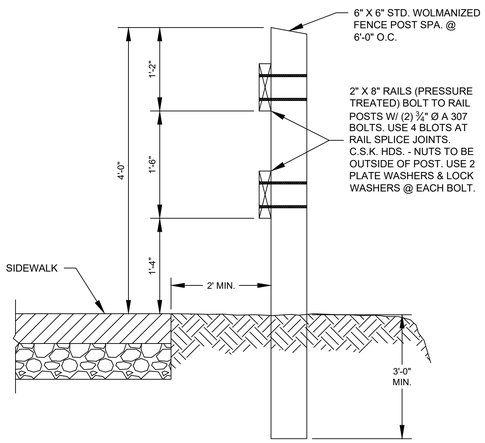
PLANS FOR CONSTRUCTION OF
WINDSOR TCSP TSCE (008) C/3
WINDSOR STREETSCAPES
WINDSOR, VERMONT

QUANTITIES

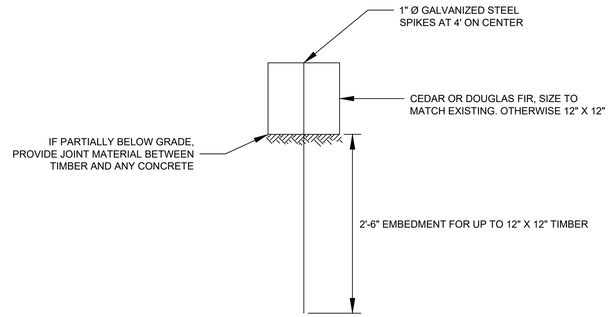
PROJECT NO.: M1104
DRAWN BY: PGF / SMC / RML
SCALE: NONE
DATE: FEBRUARY 20, 2020

SHEET: G003



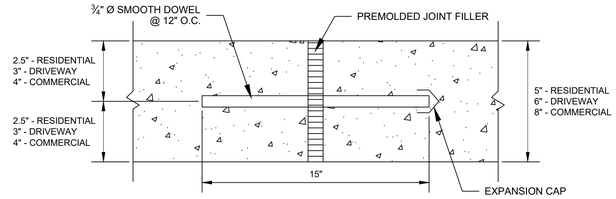
TYPICAL TREATED LUMBER FENCE DETAIL

NOT TO SCALE



TIMBER CURB DETAIL

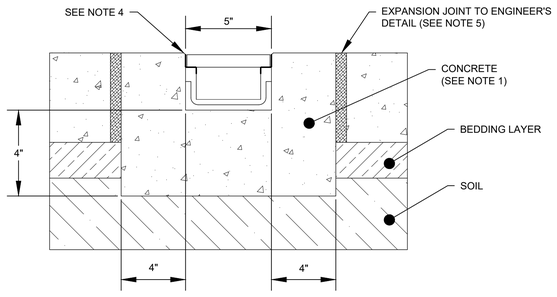
NOT TO SCALE



NOTES:
1. ALL NEW OR REPLACEMENT CONCRETE SIDEWALK SHALL BE DOWELED INTO EXISTING CONCRETE PAVEMENT
2. REMOVE EXISTING SIDEWALK BACK TO NEAREST EXPANSION OR SAWCUT JOINT

CONCRETE DOWEL

NOT TO SCALE



NOTES:
1. A MINIMUM CONCRETE STRENGTH OF 3,500 PSI IS RECOMMENDED. THE CONCRETE SHOULD BE VIBRATED TO ELIMINATE AIR POCKETS.
2. THE FINISHED LEVEL OF THE CONCRETE SURROUND SHOULD BE APPROX. ⅛" ABOVE THE TOP OF THE CHANNEL EDGE.
3. EXPANSION AND CRACK CONTROL JOINTS ARE RECOMMENDED TO PROTECT THE CHANNEL AND THE CONCRETE SURROUND.
4. STANLESS STEEL, HEEL-SAFE (ANTI-SLIP) GRATE SUITABLE FOR WHEELCHAIRS, HIGH HEELS, BICYCLES, AND PEOPLE WITH CANES.
5. EXPANSION JOINTS SHALL BE PROVIDED EACH SIDE SAME AS THOSE IN SIDEWALK AT 20 FOOT CENTERS.
6. LOAD CLASS B - 2,670 POUND WHEEL LOAD.

TRENCH DRAIN DETAIL

NOT TO SCALE

VTRANS STANDARD SHEETS

SHEET#	TITLE	DATE
C-2A	PORTLAND CEMENT CONCRETE SIDEWALK DRIVE ENTRANCES WITH SIDEWALK ADJACENT TO CURB	10-14-05
C-2B	PORTLAND CEMENT CONCRETE SIDEWALK DRIVE ENTRANCES WITH GREEN STRIP	10-14-05
C-3A	SIDEWALK RAMPS	3-10-08
C-3B	SIDEWALK RAMPS AND MEDIAN ISLANDS	3-10-08
C-10	CURBING	2-11-08
E-121	STANDARD SIGN PLACEMENT CONVENTIONAL ROAD	8-8-95

REV.	BY	DATE	DESCRIPTION

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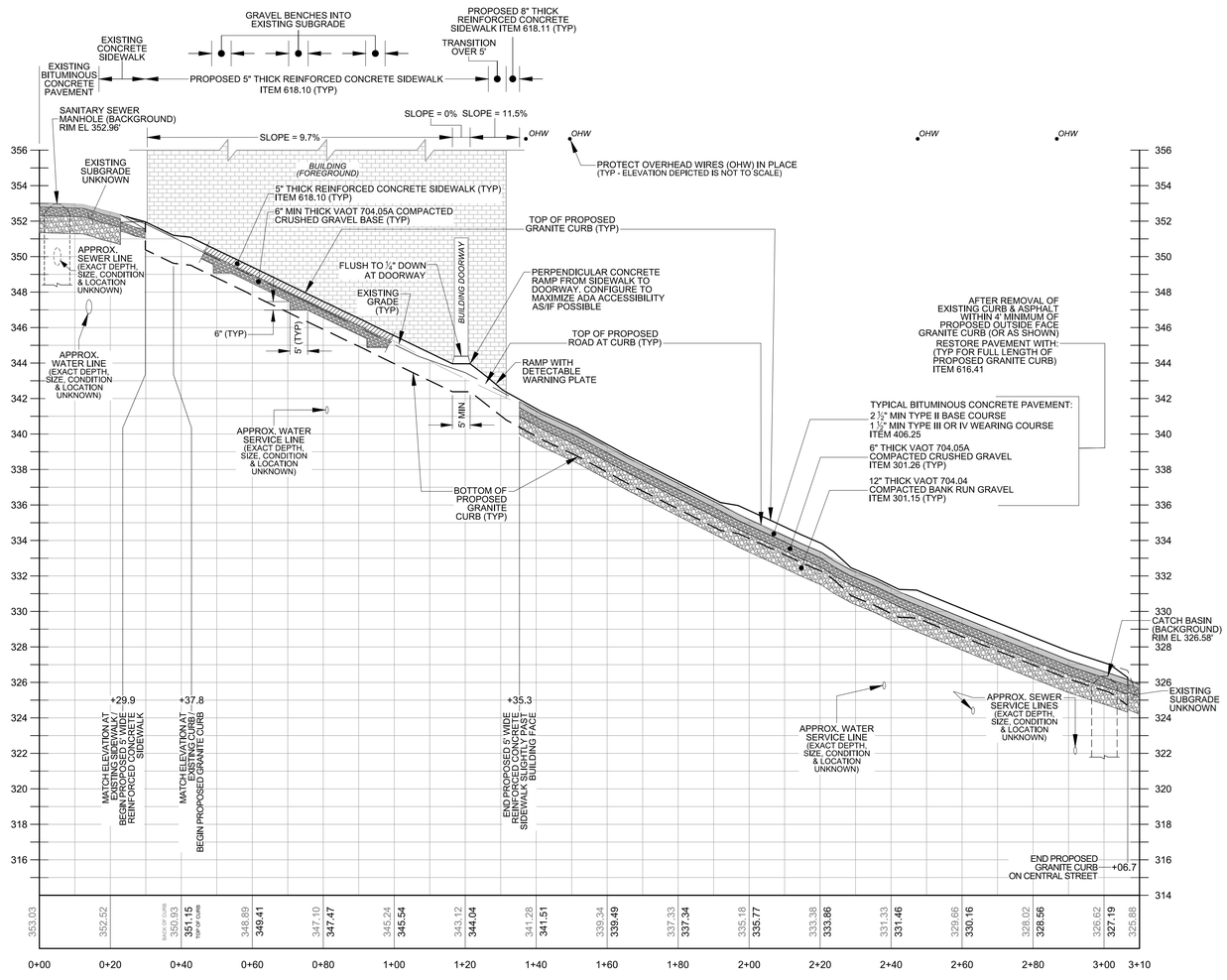
PLANS FOR CONSTRUCTION OF WINDSOR TCSP TSCE (008) C/3 WINDSOR STREETSCAPES WINDSOR, VERMONT

TYPICAL DETAILS

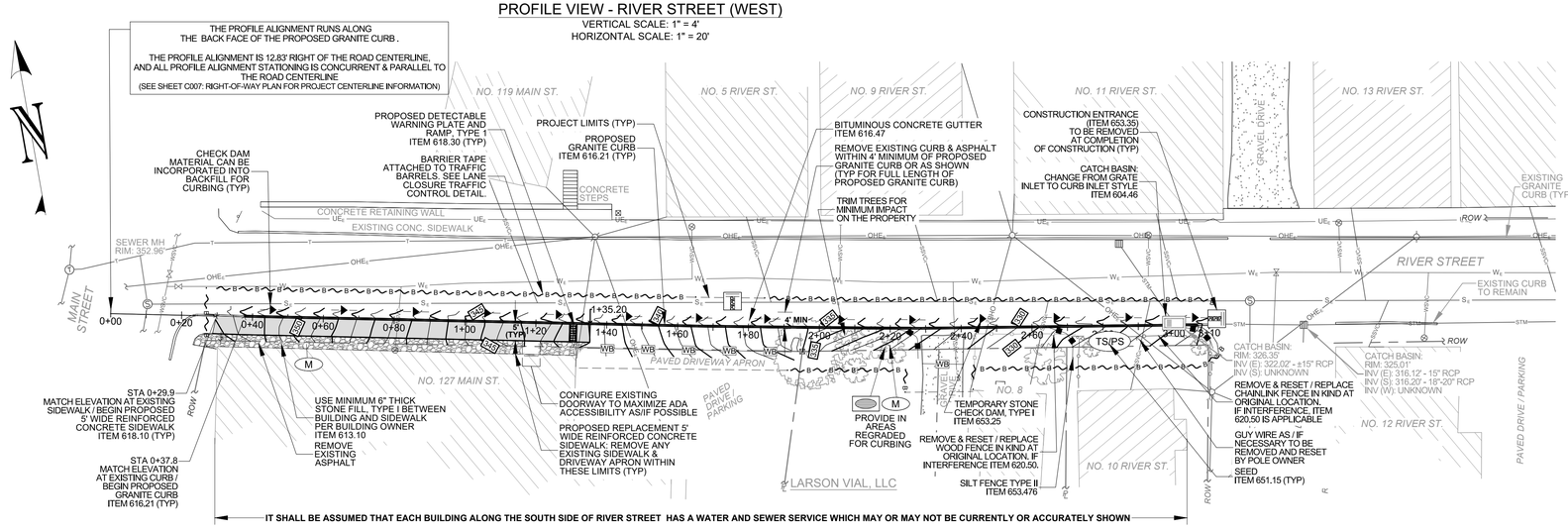
PROJECT NO.: M1104
DRAWN BY: SMC / RML
SCALE: NONE
DATE: FEBRUARY 20, 2020

SHEET: C001



PROFILE VIEW - RIVER STREET (WEST)

VERTICAL SCALE: 1" = 4'
HORIZONTAL SCALE: 1" = 20'



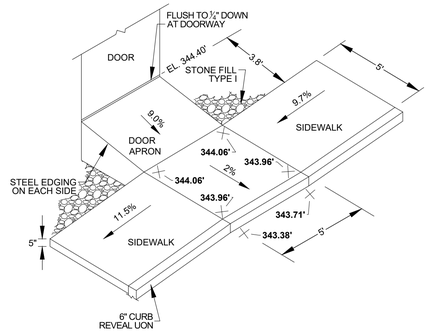
PLAN VIEW - RIVER STREET (WEST)

SCALE: 1" = 20'

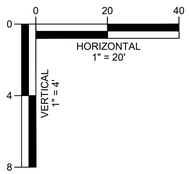
APPROXIMATE LOCATION OF USGS DISC - PID #OD0098: "AT THE STATION USED BY THE BOSTON AND MAINE RAILROAD AND THE CENTRAL VERMONT RAILWAY, IN THE EAST WALL, 7.8 FEET SOUTH OF THE DOOR LEADING TO THE WAITING ROOM IN THE NORTH END OF THE BUILDING, AND 3.3 FEET ABOVE THE CONCRETE PLATFORM. A STANDARD DISK, STAMPED 331.213 Z 5 1927 AND SET VERTICALLY."
EL 330.74 (NAVD 88)
SURVEY IN SPOT ELEVATIONS SHOWN TO VERIFY

NEW SIDEWALK NOTES

1. STAKE OUT PROJECT. INSTALL EROSION CONTROLS.
2. ALL MATERIALS TO MEET VTRANS SPECIFICATIONS AS INDICATED.
3. EXCAVATE AND REMOVE NATIVE MATERIALS UNDER NEW SIDEWALK. REMOVE ALL LARGE STONES AND ROCKS THAT MAY PROJECT OR HEAVE. RE-GRADE SO THAT SURFACE WATER SHEET FLOWS AT GENTLE 2% SLOPE. NOTE SPOT ELEVATIONS FOR FINAL GRADE SHOWN.
4. INSTALL GEOFABRIC IF SHOWN OVERLAPPING SEAMS.
5. INSTALL BASE IN 6" LIFTS AND MECHANICALLY COMPACT. INSTALL FORMS AND SPACERS, PER VTRANS SPECIFICATIONS FOR SIDEWALK CONSTRUCTION.
6. INSTALL 5" COMPACTED DEPTH OF CONCRETE SIDEWALK PER VTRANS SPECIFICATIONS FOR SIDEWALK CONSTRUCTION. CONTRACTOR IS REQUIRED TO COORDINATE TESTING AND CORE SAMPLING WITH TESTING & INSPECTION FIRM. SAMPLING AND TESTING TO BE PERFORMED IN ACCORDANCE WITH VTRANS SPECIFICATIONS.
7. SURFACES TO BE BROOM SWEPT APPEARANCE UNLESS OTHERWISE NOTED.
8. INSTALL AND SHAPE RAMPS. INSTALL CURB AND SPACER MATERIALS.
9. FINISH GRADE AND COMPACT TRANSITIONS TO ADJACENT AREAS TO ALLOW SHEET FLOW SURFACE RUNOFF. SWEEP ALL SURFACES.



NO. 127 MAIN ST. RAMP SCHEMATIC
NOT TO SCALE



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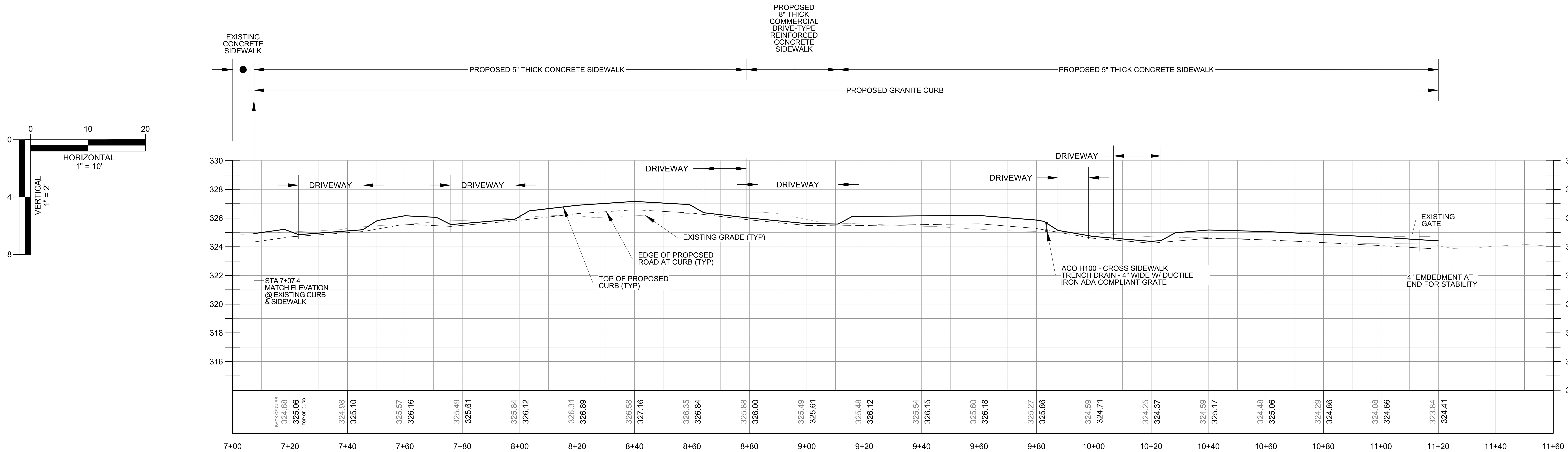
PLANS FOR CONSTRUCTION OF WINDSOR TCSP TSCE (008) C/3 WINDSOR STREETSCAPES WINDSOR, VERMONT

LAYOUT PLAN & PROFILE VIEW - RIVER STREET WEST

PROJECT NO.: M1104
DRAWN BY: PGF / SMC / RML
SCALE: AS NOTED
DATE: FEBRUARY 20, 2020

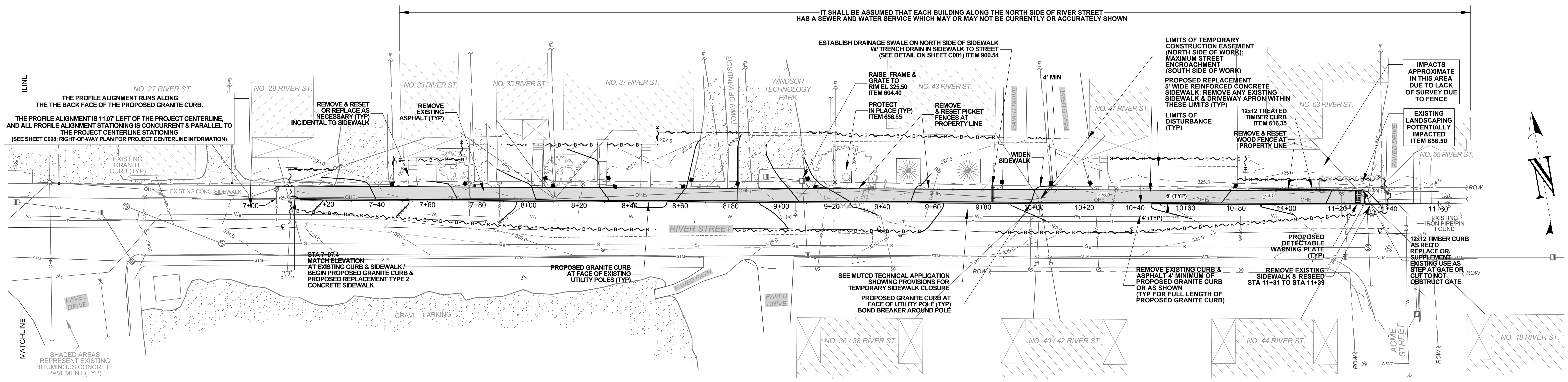
SHEET: C002



PROFILE VIEW - RIVER STREET EAST

VERTICAL SCALE: 1" = 4'

HORIZONTAL SCALE: 1" = 20'



PLAN VIEW - RIVER STREET EAST

SCALE: 1" = 20'

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LAYOUT PLAN & PROFILE VIEW - RIVER STREET EAST

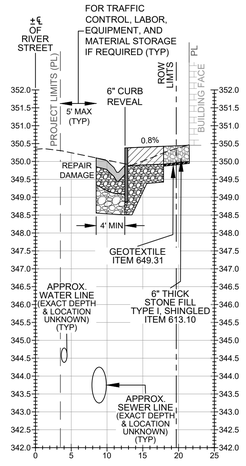
PROJECT NO.: M1104

DRAWN BY: PGF / SMC / RML

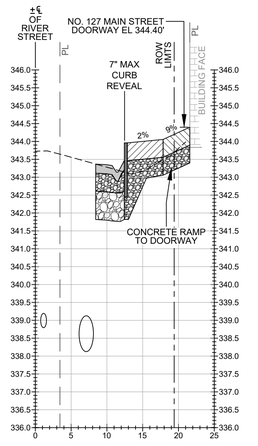
SCALE: AS NOTED

DATE: FEBRUARY 20, 2020

SHEET: C003

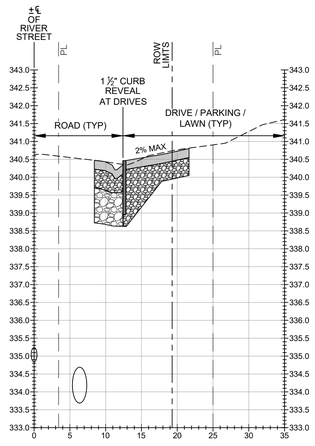


STA 0+50.00



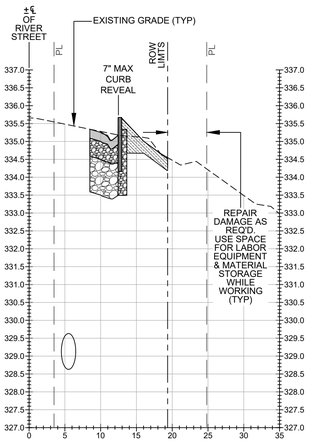
STA 1+20.00

WALKWAY TO 127 MAIN STREET

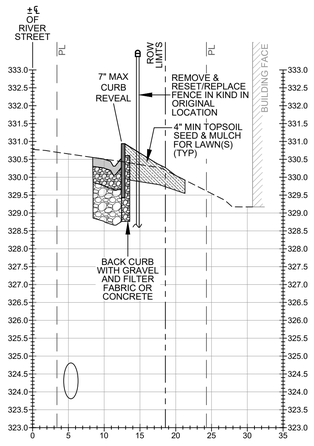


STA 1+50.00

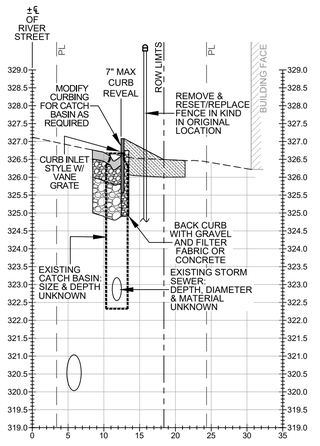
DRIVE TO 127 MAIN STREET



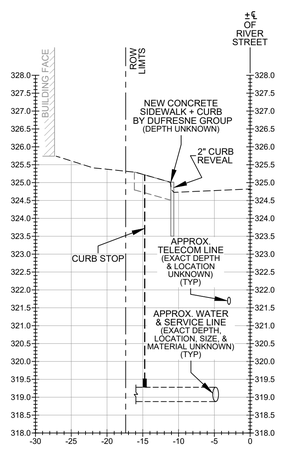
STA 2+00.00



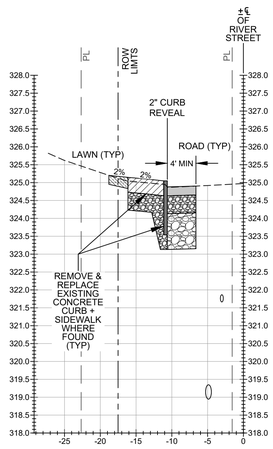
STA 2+50.00



STA 3+00.00



STA 7+00.00



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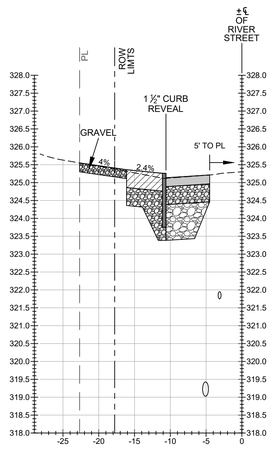
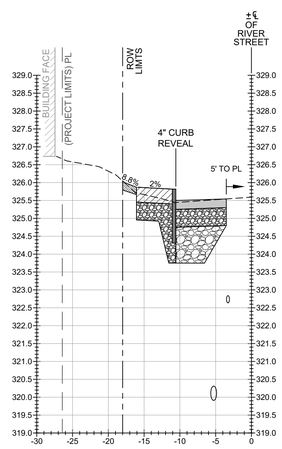
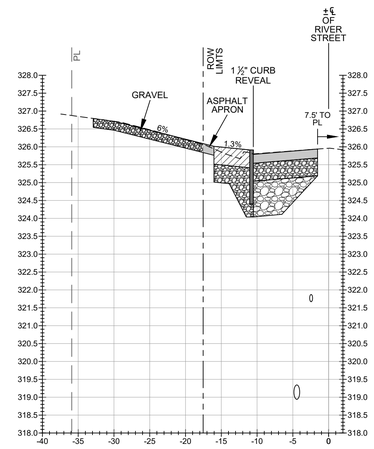


STA 7+30.00

DRIVE AT 29 RIVER STREET

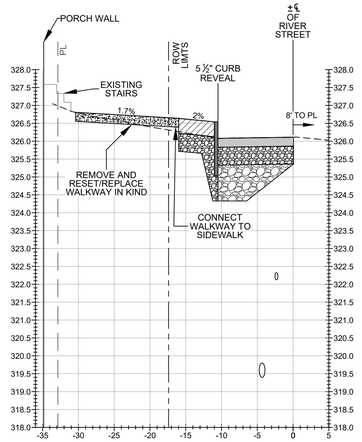


STA 7+50.00



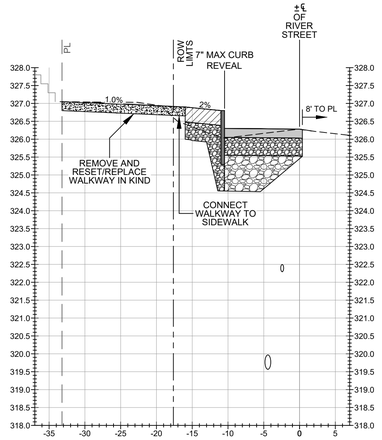
STA 7+80.00

DRIVE AT 33-35 RIVER STREET



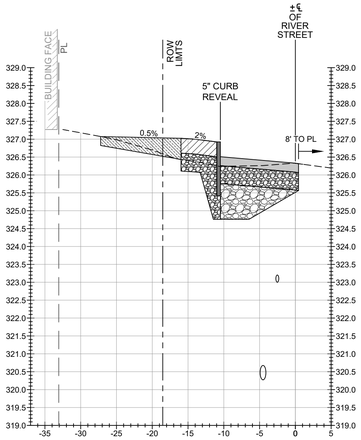
STA 8+04.00

TO STEPS AT 35 RIVER STREET

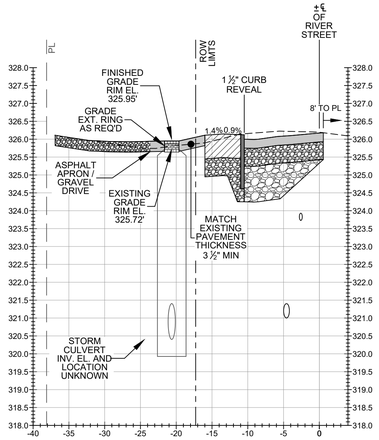


STA 8+29.00

WALKWAY TO 37 RIVER STREET

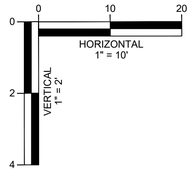


STA 8+50.00



STA 8+94.00

DRIVE AT WINDSOR TECHNOLOGY PARK



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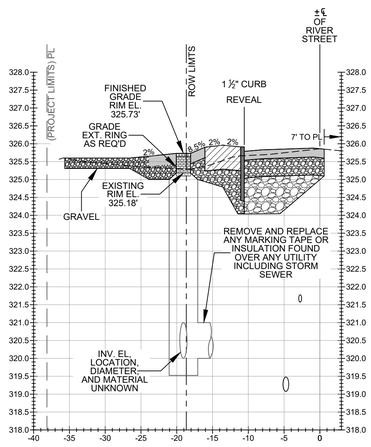
PLANS FOR CONSTRUCTION OF WINDSOR TCSP TSCE (008) C/3 WINDSOR STREETSCAPES

WINDSOR, VERMONT

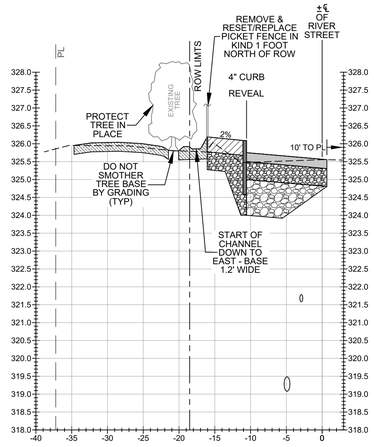
CROSS SECTIONS (1 OF 2)

PROJECT NO.: M1104
DRAWN BY: SMC / RML
SCALE: AS NOTED
DATE: FEBRUARY 20, 2020

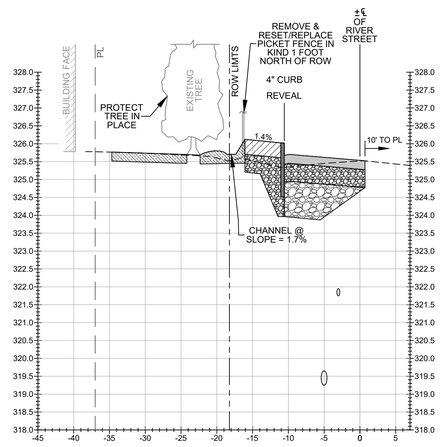
SHEET: C004



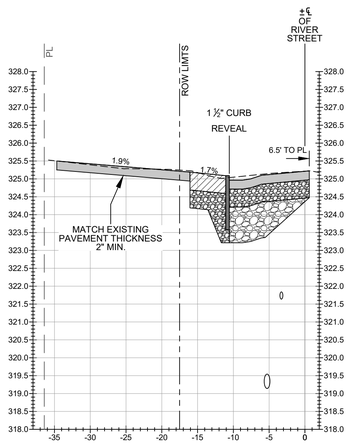
STA 9+08.00 DRIVE AT WINDSOR TECHNOLOGY PARK



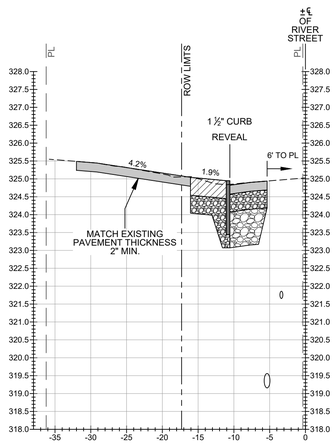
STA 9+33.00



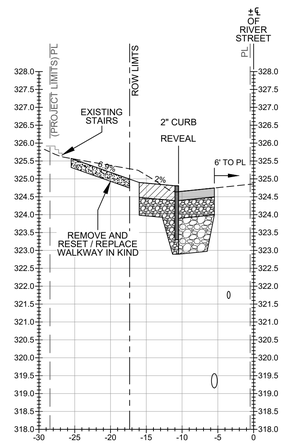
STA 9+50.00



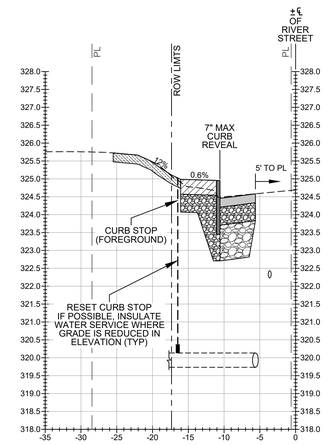
STA 9+94.00 DRIVE AT 43 RIVER STREET



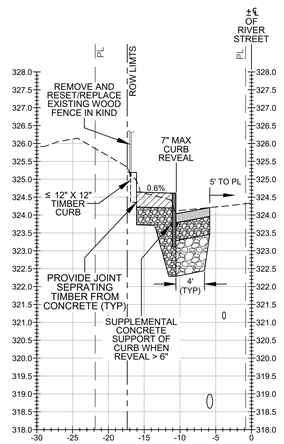
STA 10+08.00 DRIVE AT 47 RIVER STREET



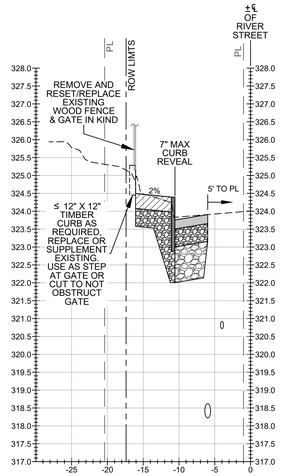
STA 10+27.00 WALKWAY AT 47 RIVER STREET



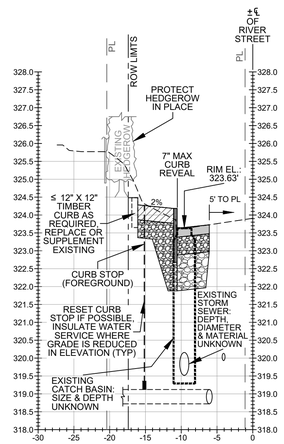
STA 10+50.00



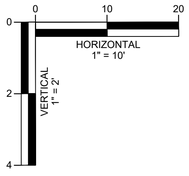
STA 10+86.00



STA 11+10.00 GATE/WALKWAY AT 53 RIVER STREET



STA 11+25.00



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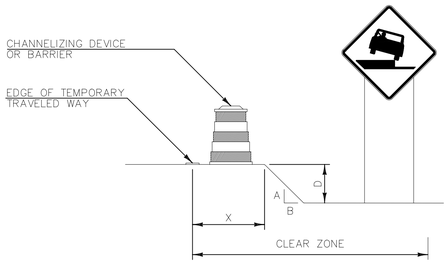
PLANS FOR CONSTRUCTION OF WINDSOR TCSP TSCE (008) C/3 WINDSOR STREETSCAPES

CROSS SECTIONS (2 OF 2)

PROJECT NO.: M1104
DRAWN BY: SMC / RML
SCALE: AS NOTED
DATE: FEBRUARY 20, 2020

SHEET: C005



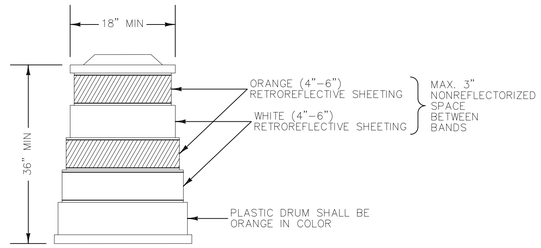
40 MPH OR LESS WITH VERTICAL CURB

X (FEET)	DROP (D) (INCHES)	DEVICE REQUIRED
0–10'	LESS THAN OR EQUAL TO 12"	NONE
0–10'	GREATER THAN 12"	CHANNELIZING DEVICE
GREATER THAN 10'	ANY	NONE

NOTE:
CHANNELIZING DEVICES MAY BE USED INSTEAD OF BARRIER FOR SHORT TERM OPERATIONS, AND SHOULD BE PLACED TO MAXIMIZE THE WIDTH OF THE TRAVELED WAY.

DROP–OFF ADJACENT TO TRAVELED WAY

NOT TO SCALE



NOTE:

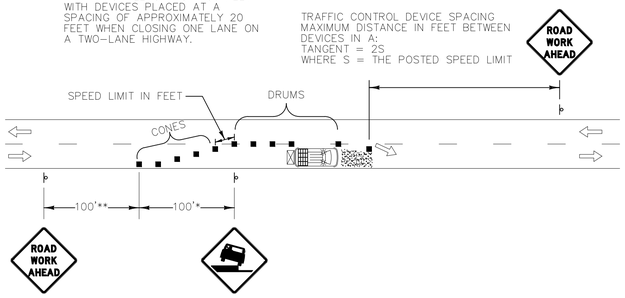
SAND BAGS OR AN APPROPRIATE BALLASTING DEVICE, WHICH DOES NOT PRESENT A HAZARD TO THE IMPACTING VEHICLE OR BECOME A PROJECTILE UPON IMPACT, SHALL BE USED TO WEIGHT DRUMS. RETROREFLECTIVE SHEETING SHALL BE ASTM TYPE III OR TYPE VI.

REFLECTORIZED PLASTIC DRUM

NOT TO SCALE

A TAPERS SHOULD HAVE A MINIMUM LENGTH OF 50 FEET AND A MAXIMUM LENGTH OF 100 FEET WITH DEVICES PLACED AT A SPACING OF APPROXIMATELY 20 FEET WHEN CLOSING ONE LANE ON A TWO–LANE HIGHWAY.

TRAFFIC CONTROL DEVICE SPACING MAXIMUM DISTANCE IN FEET BETWEEN DEVICES IN A:
TANGENT = 2S
WHERE S = THE POSTED SPEED LIMIT



LEGEND

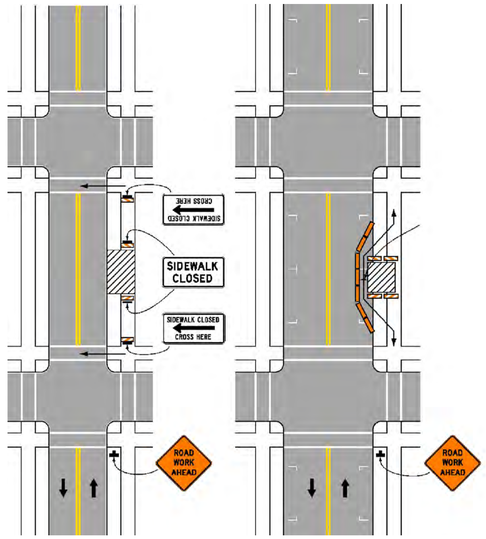
- CHANNELIZING DEVICES (CONES OR DRUMS)
- SIGN & POSTS
- WORK AREA
- * OR AS CONDITIONS ALLOW
- ** ZERO FEET IF NEAR INTERSECTION

LANE CLOSURE – TWO LANE RESIDENTIAL STREET LOW VOLUME TRAFFIC

NOT TO SCALE

NOTES:

1. COMMUNICATIONS AND ACCOMMODATIONS FOR POSTAL DELIVERS, NEWSPAPER ROUTES, TRASH SERVICES AND/OR OTHER DELIVERY SERVICES INTERRUPTED BY THE PROJECT OR DETOUR SHOULD BE COMMUNICATED WITH THE PROPER CONTACTS.
2. ALL REASONABLE EFFORTS SHALL BE MADE TO ACCOMMODATE PEDESTRIAN AND BICYCLE TRAVEL. TRAFFIC CONTROL PLANS SHOULD REPLICATE THE EXISTING PEDESTRIAN PATHWAY AS NEARLY AS PRACTICAL. THIS CAN INCLUDE BUT IS NOT LIMITED TO A DEDICATED PEDESTRIAN ESCORT (NOT A FLAGGER ON DUTY), SIGNAGE, AND PEDESTRIAN CHANNELIZING DEVICE WALKWAYS THAT MEET ADA REQUIREMENTS OR HAVE BICYCLIST FOLLOW THE RULES OF THE ROAD JUST LIKE A MOTORIST. ALSO, TO ENSURE THAT OBSTACLES, EQUIPMENT, CONSTRUCTION MATERIALS, TRAFFIC CONTROL DEVICES, ETC. DO NOT ENCROACH INTO THE BICYCLE PATH OF TRAVEL AND THAT THESE ROUTES ARE FREE OF RUTS, SAND AND MUD TO PREVENT CYCLIST'S CRASHES.
3. THE CONTRACTOR SHALL PROVIDE ACCESS THROUGH THE WORK ZONE FOR EMERGENCY VEHICLES OR COORDINATE EMERGENCY ROUTES PRIOR TO THE START OF CONSTRUCTION.
4. WHEN SCHOOL IS IN SESSION, SCHOOL BUS STOP ACCOMMODATIONS ARE REQUIRED. LOCATIONS SHALL BE COORDINATED WITH THE LOCAL SCHOOL TRANSPORTATION COORDINATOR. ADDITIONAL FLAGGERS WILL BE STATIONED AT THESE LOCATIONS DURING TYPICAL MORNING PICK–UP AND AFTERNOON DROP–OFF TIME PERIODS WHILE WORK IS PERFORMING IN THESE AREAS.



SIDEWALK DETOUR OR DIVERSION

NOT TO SCALE

GENERAL NOTES:

1. THESE CONDITIONS AND TREATMENTS ARE ONLY PART OF THE TRAFFIC CONTROL SYSTEM AND SHOULD BE USED IN ADDITION TO THE PROPER WORK ZONE SIGNING.
2. THE FOLLOWING ARE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) COMPLIANT CHANNELIZING DEVICES:

   A. VERTICAL PANEL
   B. TYPE I OR TYPE I I BARRICADE
   C. PLASTIC DRUM
   D. CONE – WHERE APPLICABLE
   E. TUBULAR MARKERS

   IF CHANNELIZING DEVICES ARE REQUIRED TO STAY IN PLACE DURING NIGHTTIME HOURS, THEY SHALL BE STABILIZED WHILE UNATTENDED IN ACCORDANCE WITH THE MUTCD.
3. CHANNELIZING DEVICE SPACING ALONG A LONGITUDINAL DROP–OFF (TANGENT) SHALL BE AS FOLLOWS:

   TANGENT – CHANNELIZING DEVICES SHALL BE SPACED "2S" ("S" IS EQUAL TO THE POSTED SPEED LIMIT IN FEET) APART.

REV.	DESCRIPTION	BY	DATE

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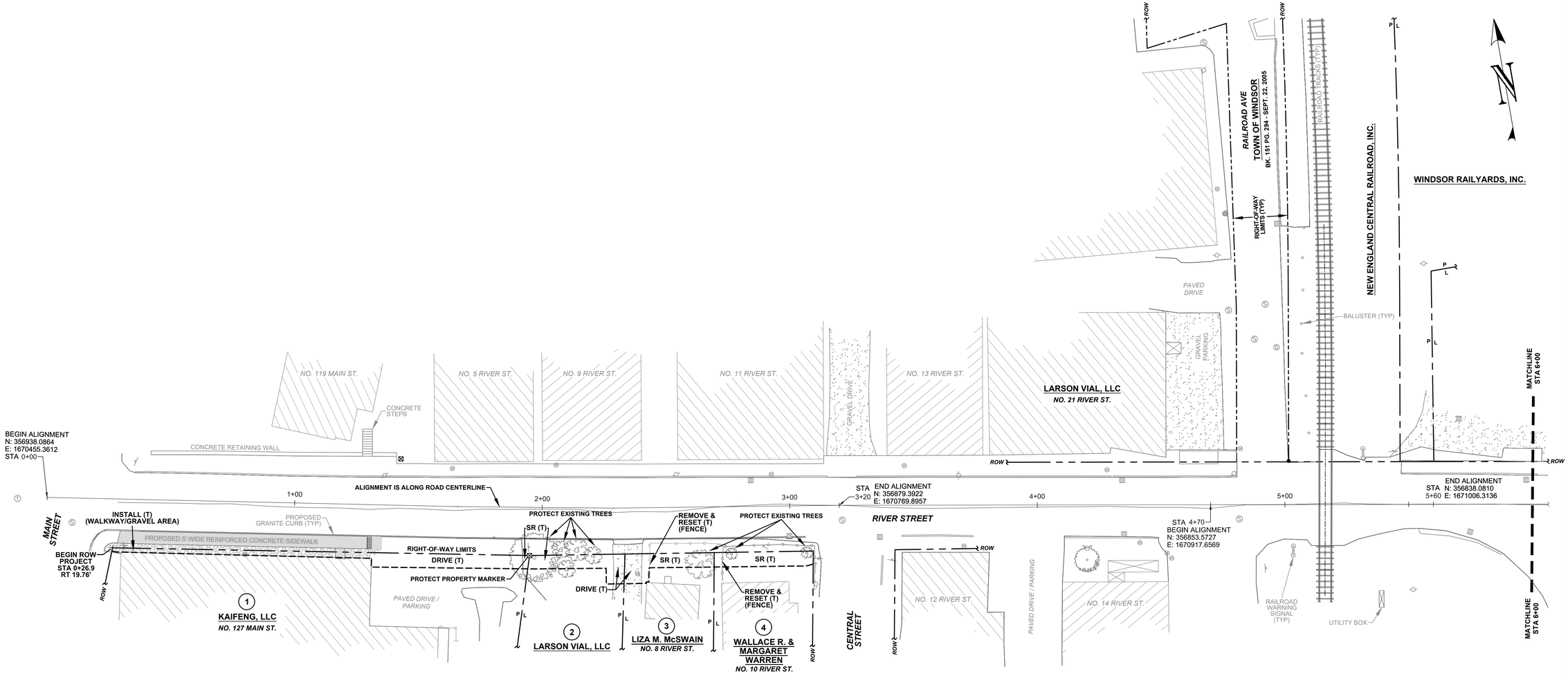
PLANS FOR CONSTRUCTION OF
WINDSOR TCSP TSCE (008) C/3
WINDSOR STREETSCAPES
WINDSOR, VERMONT

TRAFFIC CONTROL

PROJECT NO.: M1104
DRAWN BY: SMC / RML
SCALE: NONE
DATE: FEBRUARY 20, 2020

SHEET: C006



LEGEND

- PROPERTY LINE
- EXISTING RIGHT OF WAY
- TEMPORARY EASEMENT LINE
- PERMANENT EASEMENT LINE
- WOOD PICKET FENCE
- CHAIN LINK FENCE

40' 20' 0 60'

SCALE IN FEET

REV.	DESCRIPTION	BY	DATE

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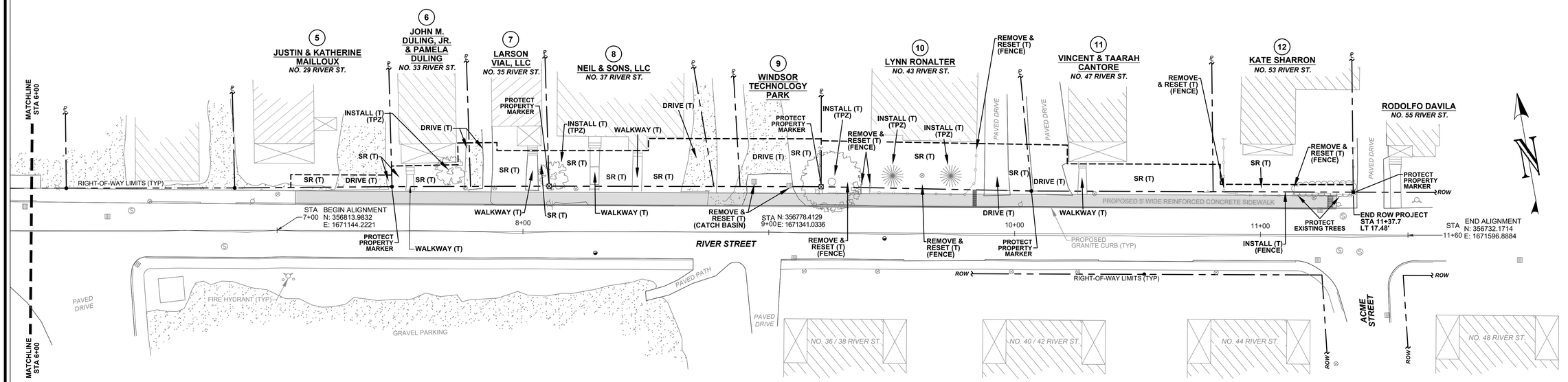
PLANS FOR CONSTRUCTION OF WINDSOR TCSP TSCE (008) C/3 WINDSOR STREETSCAPES WINDSOR, VERMONT

RIGHT-OF-WAY PLAN (1 OF 2)

PROJECT NO.: M1104
DRAWN BY: PGF / SMC / RML
SCALE: 1" = 20'
DATE: MAY 19, 2020

SHEET: C007



LEGEND

- PROPERTY LINE
- EXISTING RIGHT OF WAY
- TEMPORARY EASEMENT LINE
- PERMANENT EASEMENT LINE
- WOOD PICKET FENCE
- CHAIN LINK FENCE

40' 20' 0 60'

SCALE IN FEET

REV.	DESCRIPTION	BY	DATE

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PLANS FOR CONSTRUCTION OF WINDSOR TCSP TSCE (008) C/3 WINDSOR STREETSCAPES

WINDSOR, VERMONT

RIGHT-OF-WAY PLAN (2 OF 2)

PROJECT NO.: M1104
DRAWN BY: PGF / SMC / RML
SCALE: 1" = 20'
DATE: MAY 19, 2020

SHEET: C008

STATE OF VERMONT
AGENCY OF TRANSPORTATION

RIGHT - OF - WAY DETAIL SHEET

TABLE OF PROPERTY ACQUISITION

PARCEL NO.	PROPERTY OWNER	ROW LAYOUT NO.	BEGINNING STATION	ENDING STATION	TAKE	REMAINDER	RIGHT			RECORDING DATA					REMARKS
					AREA±	AREA±	TYPE	T / P	AREA ±	TITLE	DATE	TOWN / CITY	BOOK	PAGE	
1	KAIFENG, LLC	C007	0+26.9 RT	1+31.7 RT			INSTALL	T	208 SF						WALKWAY / GRAVEL AREA, INCLUDES MINOR SLOPING AS NEEDED
	NO. 127 MAIN ST		1+31.7 RT	1+92.3 RT			DRIVE	T	344 SF						INCLUDES MINOR SLOPING AS NEEDED TO BLEND TO EXISTING PAVED DRIVE
			1+92.3 RT	1+95.1 RT			SLOPE	T	13 SF						INCLUDES RIGHT TO PLACE TOP SOIL, SEED AND MULCH
2	LARSON VIAL, LLC	C007	1+95.1 RT	2+28.4 RT			SLOPE	T	206 SF						INCLUDES RIGHT TO INSTALL AND REMOVE PROJECT DEMARCATION FENCE (PDF) AND PLACE TOP SOIL, SEED AND MULCH
			2+28.4 RT	2+33.2 RT			DRIVE	T	55 SF						INCLUDES MINOR SLOPING AS NEEDED TO BLEND TO EXISTING GRAVEL DRIVE
3	LIZA M. McSWAIN	C007	2+33.2 RT	2+40.1 RT			DRIVE	T	84 SF						INCLUDES MINOR SLOPING AS NEEDED TO BLEND TO EXISTING GRAVEL DRIVE
	NO. 8 RIVER ST		2+40.1 RT	2+69.3 RT			SLOPE	T	186 SF						INCLUDES RIGHT TO INSTALL AND REMOVE PDF AND PLACE TOP SOIL, SEED AND MULCH
			2+43.3 RT				REMOVE & RESET	T							WOOD FENCE IS PERPENDICULAR TO ROW, GIVEN CONDITION FENCE MAY NEED TO BE REPLACED
4	WALLACE R. & MARGARET WARREN	C007	2+69.3 RT	3+09.3 RT			SLOPE	T	236 SF						INCLUDES RIGHT TO INSTALL AND REMOVE PDF AND PLACE TOP SOIL, SEED AND MULCH
	NO. 10 RIVER ST		2+72.7 RT				REMOVE & RESET	T							CHAIN LINK FENCE IS PERPENDICULAR TO ROW, GIVEN CONDITION FENCE MAY NEED TO BE REPLACED
5	JUSTIN & KATHERINE MAILLOUX	C008	7+04.7 LT	7+23.7 LT			SLOPE	T	96 SF						INCLUDES RIGHT TO INSTALL AND REMOVE PDF AND PLACE TOP SOIL, SEED AND MULCH
	NO. 29 RIVER ST		7+23.7 LT	7+44.9 LT			DRIVE	T	98 SF						INCLUDES MINOR SLOPING AS NEEDED TO BLEND TO EXISTING GRAVEL DRIVE
			7+44.9 LT	7+46.7 LT			SLOPE	T	10 SF						INCLUDES RIGHT TO INSTALL AND REMOVE SILT FENCE AND PLACE TOP SOIL, SEED AND MULCH
6	JOHN M. DULING JR. & PAMELA DULING	C008	7+46.7 LT	7+52.5 LT			SLOPE	T	50 SF						INCLUDES RIGHT TO INSTALL AND REMOVE PDF AND PLACE TOP SOIL, SEED AND MULCH
	NO. 33 RIVER ST		7+52.5 LT	7+55.7 LT			WALKWAY	T	28 SF						INCLUDES MINOR SLOPING AS NEEDED TO BLEND TO EXISTING WALK
			7+55.7 LT	7+76.1 LT			SLOPE	T	207 SF						INCLUDES RIGHT TO INSTALL AND REMOVE PDF AND SILT FENCE AND PLACE TOP SOIL, SEED AND MULCH
			7+70.4 LT				INSTALL	T							TREE PROTECTION ZONE FENCE
			7+76.1 LT	7+78.6 LT			DRIVE	T	34 SF						INCLUDES MINOR SLOPING AS NEEDED TO BLEND TO EXISTING GRAVEL DRIVE
7	LARSON VIAL, LLC	C008	7+78.6 LT	7+87.1 LT			DRIVE	T	162 SF						INCLUDES MINOR SLOPING AS NEEDED TO BLEND TO EXISTING GRAVEL AND PAVED DRIVE
	NO. 35 RIVER ST		7+87.1 LT	8+01.1 LT			SLOPE	T	209 SF						INCLUDES RIGHT TO INSTALL AND REMOVE PDF AND PLACE TOP SOIL, SEED AND MULCH
			8+01.1 LT	8+06.1 LT			WALKWAY	T	66 SF						INCLUDES MINOR SLOPING AS NEEDED TO BLEND TO EXISTING WALK
			8+06.1 LT	8+10.6 LT			SLOPE	T	63 SF						INCLUDES RIGHT TO INSTALL AND REMOVE PDF AND SILT FENCE AND PLACE TOP SOIL, SEED AND MULCH
8	NEIL & SONS, LLC	C008	8+10.6 LT	8+27.2 LT			SLOPE	T	244 SF						INCLUDES RIGHT TO INSTALL AND REMOVE PDF AND PLACE TOP SOIL, SEED AND MULCH
	NO. 37 RIVER ST		8+12.4 LT				INSTALL	T							TREE PROTECTION ZONE FENCE
			8+27.2 LT	8+30.9 LT			WALKWAY	T	55 SF						INCLUDES MINOR SLOPING AS NEEDED TO BLEND TO EXISTING WALK
			8+30.9 LT	8+44.4 LT			SLOPE	T	196 SF						INCLUDES RIGHT TO INSTALL AND REMOVE PDF AND SILT FENCE AND PLACE TOP SOIL, SEED AND MULCH
			8+44.4 LT	8+48.2 LT			WALKWAY	T	55 SF						INCLUDES MINOR SLOPING AS NEEDED TO BLEND TO EXISTING WALK
			8+48.2 LT	8+64.7 LT			SLOPE	T	345 SF						INCLUDES RIGHT TO INSTALL AND REMOVE PDF AND SILT FENCE AND PLACE TOP SOIL, SEED AND MULCH
			8+64.7 LT	8+77.6 LT			DRIVE	T	180 SF						INCLUDES MINOR SLOPING AS NEEDED TO BLEND TO EXISTING GRAVEL DRIVE
9	WINDSOR TECHNOLOGY PARK	C008	8+88.2 LT	9+09.7 LT			DRIVE	T	409 SF						INCLUDES MINOR SLOPING AS NEEDED TO BLEND TO EXISTING GRAVEL AND PAVED DRIVE
			8+94.1 LT				REMOVE & RESET	T							CATCH BASIN FRAME AND GRATE
			9+08.3 LT				REMOVE & RESET	T							CATCH BASIN FRAME AND GRATE
			9+09.7 LT	9+21.2 LT			SLOPE	T	245 SF						INCLUDES RIGHT TO INSTALL AND REMOVE PDF AND SILT FENCE AND PLACE TOP SOIL, SEED AND MULCH
10	LYNN RONALTER	C008	9+21.2 LT	9+87.5 LT			SLOPE	T	1248 SF						INCLUDES RIGHT TO INSTALL AND REMOVE PDF AND SILT FENCE AND PLACE TOP SOIL, SEED AND MULCH
	NO. 43 RIVER ST		9+23.9 LT	9+37.3 LT			REMOVE & RESET	T							RESET WOOD PICKET FENCE ONE FOOT NORTH OF ROW, GIVEN CONDITION FENCE MAY NEED TO BE REPLACED
			9+25.5 LT				INSTALL	T							TREE PROTECTION ZONE FENCE
			9+37.3 LT				REMOVE & RESET	T							WOOD PICKET FENCE PERPENDICULAR TO ROW; RESET WOOD PICKET FENCE ONE FOOT NORTH OF ROW, GIVEN CONDITION FENCE MAY NEED TO BE REPLACED
			9+41.2 LT				REMOVE & RESET	T							WOOD PICKET FENCE PERPENDICULAR TO ROW; RESET WOOD PICKET FENCE ONE FOOT NORTH OF ROW, GIVEN CONDITION FENCE MAY NEED TO BE REPLACED
			9+41.2 LT	9+81.2 LT			REMOVE & RESET	T							RESET WOOD PICKET FENCE ONE FOOT NORTH OF ROW, GIVEN CONDITION FENCE MAY NEED TO BE REPLACED
			9+50.2 LT				INSTALL	T							TREE PROTECTION ZONE FENCE
			9+73.9 LT				INSTALL	T							TREE PROTECTION ZONE FENCE
			9+81.2 LT	9+84.5 LT			REMOVE & RESET	T							WOOD PICKET FENCE PERPENDICULAR TO ROW; RESET WOOD PICKET FENCE ONE FOOT NORTH OF ROW, GIVEN CONDITION FENCE MAY NEED TO BE REPLACED
			9+87.5 LT	9+98.0 LT			DRIVE	T	185 SF						INCLUDES MINOR SLOPING AS NEEDED TO BLEND TO EXISTING PAVED DRIVE
			9+98.0 LT	10+06.7 LT			SLOPE	T	159 SF						INCLUDES RIGHT TO INSTALL AND REMOVE PDF AND PLACE TOP SOIL, SEED AND MULCH
11	VINCENT & TAARAH CANTORE	C008	10+06.7 LT	10+22.6 LT			DRIVE	T	299 SF						INCLUDES MINOR SLOPING AS NEEDED TO BLEND TO EXISTING PAVED DRIVE AND RIGHT TO INSTALL AND REMOVE SILT FENCE
	NO. 47 RIVER ST		10+22.6 LT	10+25.6 LT			SLOPE	T	43 SF						INCLUDES RIGHT TO INSTALL AND REMOVE PDF AND SILT FENCE AND PLACE TOP SOIL, SEED AND MULCH
			10+25.6 LT	10+29.4 LT			WALKWAY	T	38 SF						INCLUDES MINOR SLOPING AS NEEDED TO BLEND TO EXISTING WALK
			10+29.4 LT	10+80.7 LT			SLOPE	T	572 SF						INCLUDES RIGHT TO INSTALL AND REMOVE PDF AND SILT FENCE AND PLACE TOP SOIL, SEED AND MULCH
12	KATE SHARRON	C008	10+80.7 LT	11+37.7 LT			SLOPE	T	195 SF						INCLUDES RIGHT TO INSTALL AND REMOVE PDF AND PLACE TOP SOIL, SEED AND MULCH
	NO. 53 RIVER ST		10+85.1 LT				REMOVE & RESET	T							WOOD FENCE PERPENDICULAR TO ROW; RESET WOOD FENCE AT ROW, GIVEN CONDITION FENCE MAY NEED TO BE REPLACED
			10+85.1 LT	11+13.6 LT			INSTALL	T							RESET WOOD FENCE AT ROW, GIVEN CONDITION FENCE MAY NEED TO BE REPLACED
			11+13.6 LT				REMOVE & RESET	T							WOOD FENCE PERPENDICULAR TO ROW; RESET WOOD FENCE AT ROW, GIVEN CONDITION FENCE MAY NEED TO BE REPLACED

TABLE OF REVISIONS

REVISION NO.	ROW SET SHEET #	DESCRIPTION	DATE

REV.	DESCRIPTION	BY	DATE

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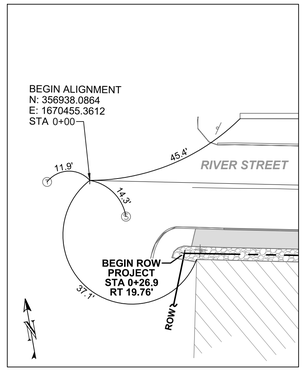
PLANS FOR CONSTRUCTION OF
WINDSOR TCSP TSCE (008) C/3
WINDSOR STREETSCAPES
WINDSOR, VERMONT

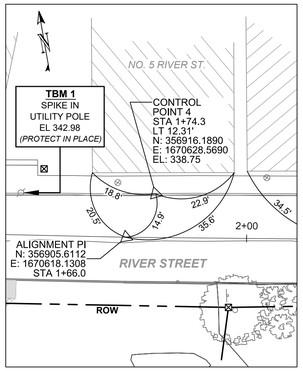
RIGHT-OF-WAY DETAIL SHEET

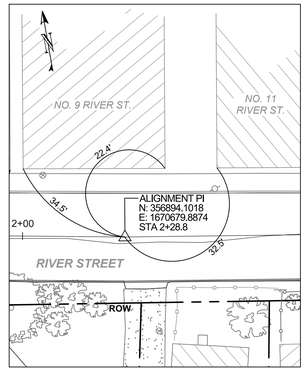
PROJECT NO.: M1104
DRAWN BY: SMC / RML
SCALE: NONE
DATE: MAY 19, 2020

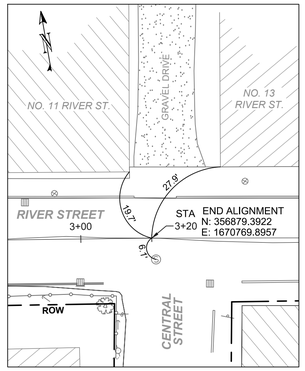
SHEET: C009

TRAVERSE TIES







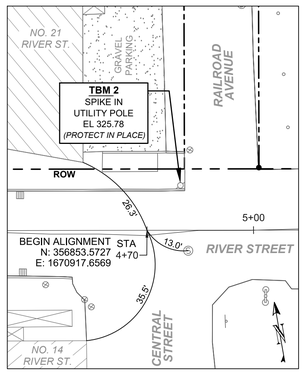


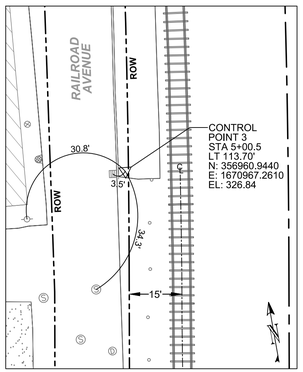
GPS CONTROL POINT

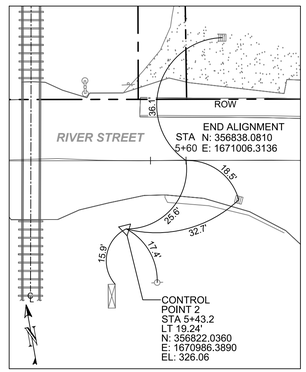
USGS DISC - PID #OD0098
NORTHING = 357212.2724
EASTING = 1670989.4893
ELEVATION = 330.81

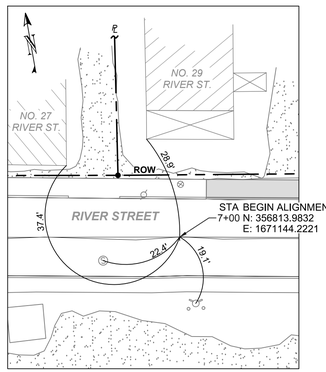
LOCATED ON RAILROAD AVENUE AT THE STATION USED BY THE BOSTON AND MAINE RAILROAD AND THE CENTRAL VERMONT RAILWAY, IN THE EAST WALL, 7.8 FEET SOUTH OF THE DOOR LEADING TO THE WAITING ROOM IN THE NORTH END OF THE BUILDING, AND 3.3 FEET ABOVE THE CONCRETE PLATFORM. A STANDARD DISK, STAMPED 331.213 Z 5 1927 AND SET VERTICALLY.

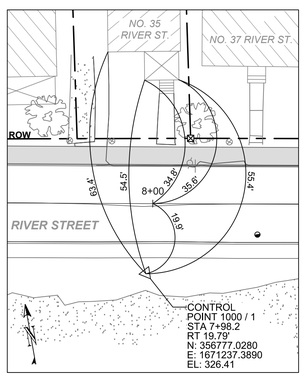
TRAVERSE TIES

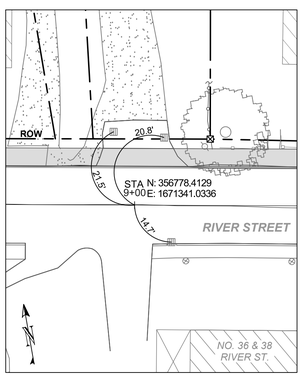


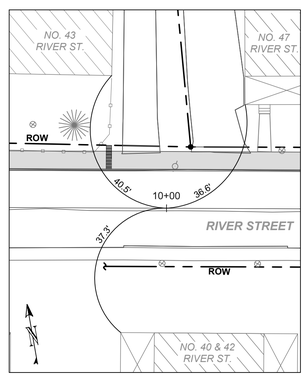


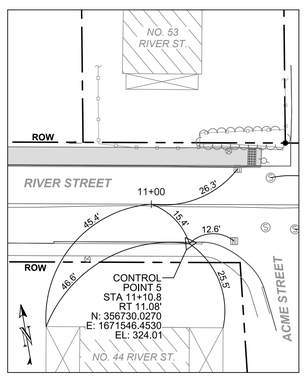


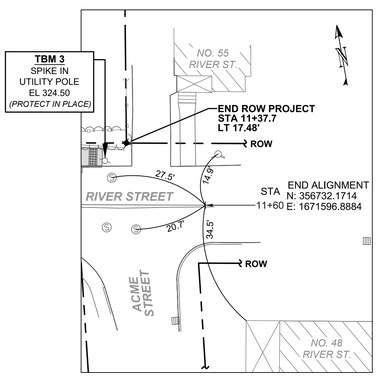












40' 20' 0 60'
SCALE IN FEET

REV.	DESCRIPTION	BY	DATE

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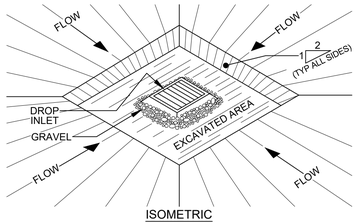
PLANS FOR CONSTRUCTION OF WINDSOR TCSP TSCE (008) C/3 WINDSOR STREETSCAPES
WINDSOR, VERMONT

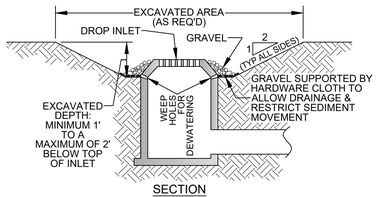
TIE PLAN

PROJECT NO.:	M1104
DRAWN BY:	PGF / SMC / RML
SCALE:	1" = 20'
DATE:	MAY 19, 2020

SHEET: C010



ISOMETRIC



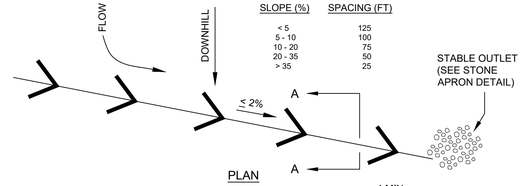
SECTION

1. CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION.
2. GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN.
3. WEEP HOLES SHALL BE PROTECTED BY GRAVEL.
4. UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL WEEP HOLES, FILL EXCAVATION W/ STABLE SOIL TO FINAL GRADE, COMPACT IT PROPERLY & STABILIZE W/ PERMANENT SEEDING.
5. MAXIMUM DRAINAGE AREA = 1 ACRE

EXCAVATED DROP INLET PROTECTION DETAIL

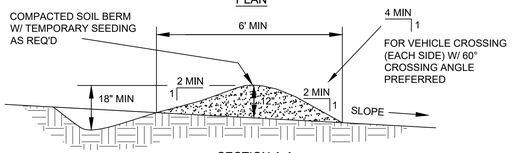
SYMBOL

NOT TO SCALE



PLAN

SLOPE (%)	SPACING (FT)
< 5	125
5 - 10	100
10 - 20	75
20 - 35	50
> 35	25



SECTION A-A

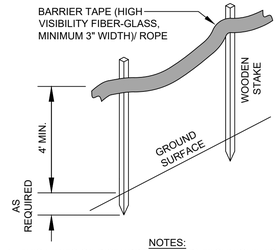
CONSTRUCTION SPECIFICATIONS

1. INSTALL THE WATER BAR AS SOON AS THE RIGHT OF WAY IS CLEARED AND GRADED.
2. DISK OR STRIP THE SOD FROM THE BASE FOR THE CONSTRUCTED RIDGE BEFORE PLACING FILL.
3. TRACK THE RIDGE TO COMPACT IT TO THE DESIGN CROSS SECTION.
4. THE OUTLET SHALL BE LOCATED ON AN UNDISTURBED AREA. FIELD SPACING WILL BE ADJUSTED TO USE THE MOST STABLE OUTLET AREAS. OUTLET PROTECTION WILL BE PROVIDED WHEN NATURAL AREAS ARE NOT ADEQUATE.
5. VEHICLE CROSSING SHALL BE STABILIZED WITH GRAVEL **OR RIP RAP AS APPROPRIATE**. EXPOSED AREAS SHALL BE IMMEDIATELY SEEDED AND MULCHED.
6. INSPECT WATER BARS FOR EROSION DAMAGE AND SEDIMENT. CHECK OUTLET AREAS AND MAKE REPAIRS AS NEEDED TO RESTORE OPERATION.

WATER BAR DETAIL

SYMBOL WB

NOT TO SCALE



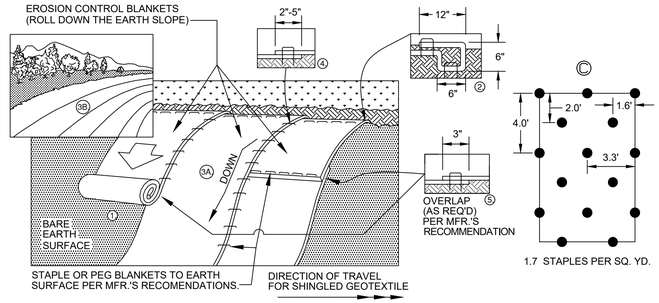
NOTES:

1. THIS LIMITS OF DISTURBANCE (LOD) TECHNIQUE TO BE EMPLOYED FOR AREAS MORE THAN 100' FROM A WATER RESOURCE OR AS SHOWN.
2. FLAGGING RIBBON MAY BE USED WHERE PROPOSED DISTURBANCE BORDERS ESTABLISHED WOODED AREAS.

CONSTRUCTION FLAGGING BARRIER TAPE/ ROPE DETAIL

SYMBOL F B

NOT TO SCALE



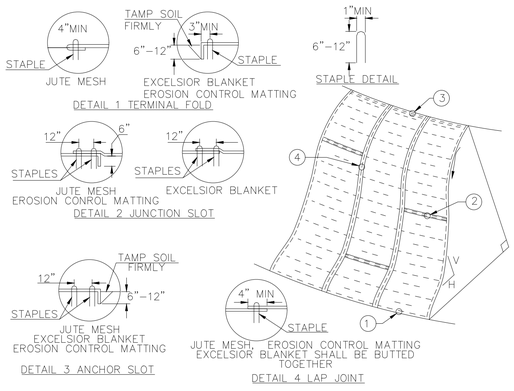
1.7 STAPLES PER SQ. YD.

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE MANUFACTURER'S STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM™, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" - 5" OVERLAP DEPENDING ON BLANKET TYPE.
5. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
6. IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
7. **APPLICABLE FOR BOTH TEMPORARY & PERMANENT STABILIZATION CONDITIONS.**

SYMBOL

ROLLED EROSION CONTROL PRODUCT OR TURF REINFORCEMENT MAT SIDE SLOPE / TRANSVERSE INSTALLATION DETAIL

NOT TO SCALE



CONSTRUCTION SPECIFICATIONS:

1. APPLY TO SLOPES GREATER THAN 3H:1V OR WHERE NECESSARY TO AID IN ESTABLISHING VEGETATION.
2. APPLY FERTILIZER, LIME SEED PRIOR TO PLACING MATTING.
3. STAPLES ARE TO BE PLACED ALTERNATELY, IN COLUMNS APPROXIMATELY 2' APART AND IN ROWS APPROXIMATELY 3' APART. APPROXIMATELY 175 STAPLES ARE REQUIRED PER 4' X 225' ROLL OF MATERIAL AND 125 STAPLES ARE REQUIRED PER 4' X 150' ROLL OF MATERIAL.
4. DISTURBED AREAS SHALL BE SMOOTHLY GRADED. EROSION CONTROL MATERIAL SHALL BE PLACED LOOSELY OVER GROUND SURFACE. DO NOT STRETCH.
5. ALL TERMINAL ENDS AND TRANSVERSE LAPS SHALL BE STAPLED AT APPROXIMATELY 12" INTERVALS.

ROLLED EROSION CONTROL PRODUCT OR TURF REINFORCEMENT MAT SIDE SLOPE / TRANSVERSE INSTALLATION DETAIL

SYMBOL

NOT TO SCALE

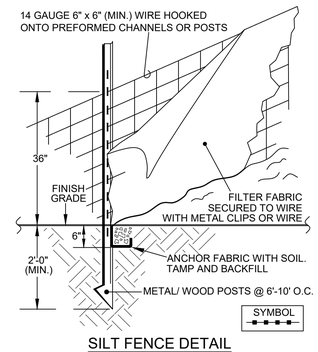
CONSTRUCTION SPECIFICATIONS:

1. STONE SIZE - USE 1-4" STONE, RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50' (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30' MINIMUM LENGTH APPLIES).
3. THICKNESS - NOT LESS THAN 8".
4. WIDTH - 12' MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 24' IF SINGLE ENTRANCE TO SITE.
5. GEOTEXTILE MUST BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED ACCORDING TO PERMIT REQUIREMENTS.

STABILIZED CONSTRUCTION ENTRANCE

SYMBOL

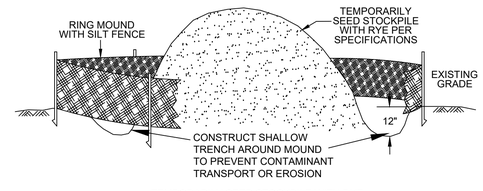
NOT TO SCALE



SYMBOL

SILT FENCE DETAIL

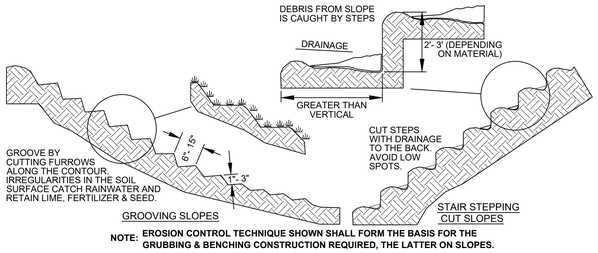
NOT TO SCALE



TEMPORARILY SEED STOCKPILE WITH RYE PER SPECIFICATIONS

TOPSOIL STOCKPILE SECTION DETAIL

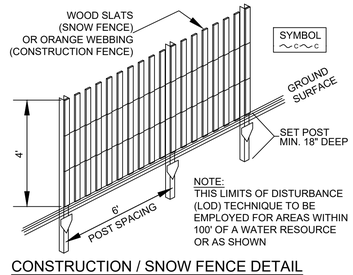
NOT TO SCALE



NOTE: EROSION CONTROL TECHNIQUE SHOWN SHALL FORM THE BASIS FOR THE GRUBBING & BENCHING CONSTRUCTION REQUIRED, THE LATTER ON SLOPES.

SURFACE ROUGHENING DETAIL

NOT TO SCALE



CONSTRUCTION / SNOW FENCE DETAIL

NOT TO SCALE

REV.	DESCRIPTION	BY	DATE

MARBLE VALLEY ENGINEERING, PC
CIVIL & STRUCTURAL
775 - 1181
69 GROVE STREET, RUTLAND, VERMONT
WWW.MARBLEVALLEYENGINEERING.COM

NOT FOR CONSTRUCTION
PROGRESS PRINT
CIVIL ENGINEER

PLANS FOR CONSTRUCTION OF WINDSOR TCSP TSCE (008) C/3 WINDSOR STREETSCAPES WINDSOR, VERMONT

EPSC MEASURES AND DETAILS

PROJECT NO.: M1104

DRAWN BY: PGF / SMC / RML

SCALE: NONE

DATE: FEBRUARY 20, 2020

SHEET: C011

Windsor Streetscapes Project, TCSP TCSE(008) C/3
85% Construction Cost Estimate

Submitted: April 12, 2023 updated without scope changes

Item Number	Item Description	Units	2 year pricing*	5 year pricing*	Pricing Used	Quantity	Cost
203.15	Common Excavation	CY	$15.14	$14.30	$15.14	460.00	$6,964.40
203.17	Unclassified Excavation (contingency)	CY	$11.63	$17.20	$17.20	1.00	$17.20
203.28	Excavation of Surfaces and Pavements	CY	$31.20	$32.11	$32.11	96.00	$3,082.56
203.31	Sand Borrow (contingency)	CY	$30.95	$29.64	$30.95	10.00	$309.50
210.10	Cold Planing, Bituminous Pavement	SY	$2.51	$2.64	$2.64	410.00	$1,082.40
301.15	Subbase of Gravel	CY	$39.46	$42.47	$42.47	110.00	$4,671.70
301.26	Subbase of Crushed Gravel, Fine Graded	CY	$43.36	$44.41	$44.41	160.00	$7,105.60
401.10	Aggregate Surface Course	CY	$55.91	$55.20	$55.91	20.00	$1,118.20
406.25	Marshall Bituminous Concrete Pavement	TON	$234.31	$209.15	$234.31	80.00	$18,744.80
541.25	Concrete, Class B (contingency)	CY	$1,442.69	$1,136.53	$1,442.69	5.00	$7,213.45
604.40	Changing Elevation of Drop Inlets, Catchbasins or Manholes	EA	$898.50	$928.29	$928.29	3.00	$2,784.87
604.46	Cast Iron Grate with Frame, Type B (modified with curb inlet)	EA		$1,001.35	$1,001.35	1.00	$1,001.35
613.10	Stone Fill, Type I	CY	$65.56	$60.54	$65.56	10.00	$655.60
616.21	Vertical Granite Curb	LF	$56.65	$57.92	$57.92	550.00	$31,856.00
616.41	Removal of Existing Curb	LF	$7.29	$9.45	$9.45	234.00	$2,211.30
616.47	Bituminous Concrete Gutters and Traffic Islands	TON	$253.69	$260.65	$260.65	65.00	$16,942.25
617.10	Relocate Mailbox, Single Support (contingency)	EA	$175.60	$195.72	$195.72	1.00	$195.72
618.10	Portland Cement Concrete Sidewalk, 5 inch	SY	$122.51	$102.43	$122.51	275.00	$33,690.25
618.11	Portland Cement Concrete Sidewalk, 8 inch	SY	$175.98	$131.45	$175.98	25.00	$4,399.50
618.30	Detectable Warning Surface	SF	$44.05	$52.21	$52.21	30.00	$1,566.30
620.50	Removing and Resetting Fence	LF	$13.54	$15.98	$15.98	120.00	$1,917.60

Item Number	Item Description	Units	2 year pricing*	5 year pricing*	Pricing Used	Quantity	Cost
630.15	Flaggers	HR	$43.38	$35.75	$43.38	200.00	$8,676.00
635.11	Mob / Demob	LS			$17,489.25	1.00	$17,489.25
641.10	Traffic Control	LS			$12,676.09	1.00	$12,676.09
649.11	Geotextile for Roadbed Separator	SY	$1.28	$1.44	$1.44	20.00	$28.80
649.31	Geotextile under Stone Fill	SY	$3.66	$3.81	$3.81	40.00	$152.40
651.15	Seed	LB	$11.90	$10.11	$11.90	10.00	$119.00
651.18	Fertilizer	LB	$5.34	$4.43	$5.34	100.00	$534.00
651.35	Topsoil	CY	$52.36	$33.68	$52.36	100.00	$5,236.00
653.10	Hay Mulch	TON	$992.49	$992.49	$992.49	0.50	$496.25
653.20	Rolled Erosion Control Product Type I	SY	$2.16	$1.92	$2.16	370.00	$799.20
653.35	Stabilized Construction Entrance	CY	$64.71	$60.80	$64.71	15.00	$970.65
653.41	Inlet Protection Device, Type II	EA	$285.59	$215.41	$285.59	3.00	$856.77
653.476	Silt Fence Type II	LF	$6.48	$6.48	$6.48	130.00	$842.40
653.50	Barrier Fence	LF	$2.92	$1.86	$2.92	1,130.00	$3,299.60
653.60	Erosion Log (contingency)	LF	$3.96	$3.24	$3.96	20.00	$79.20
656.50	Transplanting Shrubs (contingency)	EA	$300.98	$235.66	$300.98	1.00	$300.98
656.85	Tree Protection	LS	$4,915.21	$4,536.11	$4,915.21	1.00	$4,915.21
675.50	Removing Signs (contingency)	EA	$13.85	$14.22	$14.22	1.00	$14.22
675.60	Resetting Signs (contingency)	EA	$32.84	$31.42	$32.84	1.00	$32.84
900.540	Trench Drain	LF			$109.05	10.00	$1,090.50
900.541	6 foot Fence, various materials (contingency)	LF			$34.73	20.00	$694.60
SubTotal							**$206,834.51**
Total without Contingency							**$206,834.51**

Attachment G:
2023 Additional Funding Worksheet

Applicant Name: Town of Windsor
Project Title: River Street Sidewalk Improvements

Determining Make Up Funding for an Existing Project

Original Award (including Local share)	$193,630
Engineering Expenses to Date	$17,113
Project Management Expenses to Date	$12,983
ROW expenses to Date	

Amount Remaining from original award	**$163,534**

Balance of Engineering contract to be billed	$20,387
Balance of Project Management to end of project	$7,017
Balance of ROW expenses anticipated	$3,000
Estimated Construction Cost	$225,000
Estimated Construction Inspection Cost	$33,750

Total Cost to Complete Project	**$289,154**

Amount Remaining in Grant Award (or deficit)	**($125,620)**

Mount Ascutney
Regional Commission

June 8, 2023

Peter Pochop, Project Manager
Project Delivery Bureau, Municipal Assistance, VTrans
219 North Main Street
Barre VT 05641

SUBJECT: Statement of Support for Windsor's Bicycle and Pedestrian Grant Application

Dear Mr. Pochop:

The Town of Windsor is applying to the 2023 Bicycle and Pedestrian Program for additional funding to complete their River Street Sidewalk Improvement Project [Windsor TCSP TCSE(008)]. These improvements make important pedestrian improvements that connect a low-income neighborhood to the Downtown.

Inflation has made it very difficult to complete this project as presently scoped. Additional funds are necessary to successfully complete this project.

Staff at Mount Ascutney Regional Commission (MARC) have not only reviewed this application, but helped to prepare it. MARC staff are assisting the town with project management activities.

This project is consistent with and furthers goals of both the Regional Plan and Town Plan. Specifically, this project would address a key pedestrian need in the Regional Transportation Plan by: *"[m]ak[ing] logical sidewalk and multi-use path network expansions to make connections between destinations."*

This is an important project, and one that MARC staff has been working on for many years with town officials. Thank you for your consideration.

Sincerely,

Jason Rasmussen

Jason Rasmussen, AICP
Executive Director

P.O. Box 320
38 Ascutney Park Road
Ascutney, VT 05030
802.674.9201
www.marcvt.org

Town of Windsor, Vermont
29 Union St.
Windsor, VT 05089
(802) 674-6786

May 23, 2023

Peter Pochop, Bicycle and Pedestrian Project Manager

VTrans Project Delivery Bureau - Municipal Assistance

219 North Main Street

Barre VT 05641

SUBJECT: Selectboard Letter of Support – Additional Funds for River Street Sidewalk Improvements in Windsor

Dear Mr. Pochop:

The Town of Windsor is in full support of the Bicycle and Pedestrian Program application for additional funds for the ongoing River Street Sidewalk Improvement Project [Windsor TCSP TSCE (008)].

This project seeks to make important improvements to the existing sidewalk along River Street. These improvements will make safer non-motorized access to downtown Windsor for residents in this low- income neighborhood along the Connecticut River. These improvements will contribute toward the Town's goals to revitalize this neighborhood.

Inflation has increased the anticipated project costs. The total cost of the project is now estimated to be $319,250 based on estimates from Marble Valley Engineering. We are applying for additional funds to supplement past awards through a federal earmark. The additional costs are $101,644 for construction, $6,227 for engineering, $8,750 for construction inspection, and $9,000 for municipal project management. We believe the current levels of funding for right-of-way are sufficient. The Town is requesting a new Bicycle and Pedestrian award of $100,497, which combined with the original award equals a total of $257,492 in federal funding. The Town is committed to providing local match funds for this 2023 request of $25,124 which, combined with the original match of $36,635, is a total of $61,759 in local cash match.

The Town is committed to the future maintenance responsibility for these sidewalk improvements.

Thank you for your consideration.

Sincerely,

Jeffrey Johnson, Chair
Windsor Selectboard