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MEMORANDUM

TO: VT Department of Housing and Community Affairs
FROM: Sarah Hadd, Director of Planning & Zoning
DATE: November 14, 2012
RE: Planning Commission Reporting Form for Municipal Bylaw Amendment
Continuation Sheet

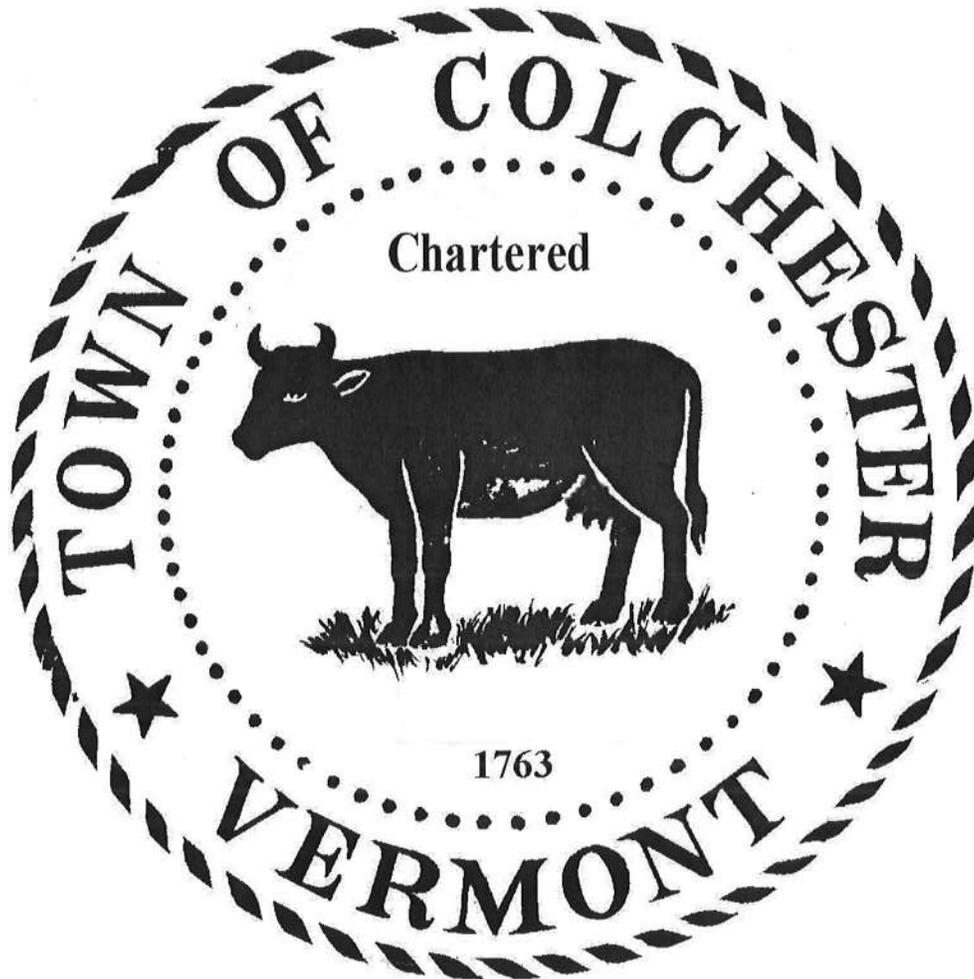
Pursuant to Title 24 VSA, Chapter 117, the Colchester Planning Commission will hold a public hearing on Tuesday, December 11, 2012 at 7 P.M. at the Colchester Meeting House on Main Street for the purpose of considering amendments of the Colchester Zoning Regulations:

1. Amend Section 11.07(A) & (B) to conform to revised 24 V.S.A. Section 1974(a) for fines.
2. Remove “Life Safety” and replace with “Building” Inspector throughout.
3. Amend Section 8.10E(3) to insert “an undue” to comply with 24 V.S.A. Section 4414(3)(A).
4. Amend Section 10.01I to comply with 2010 ADA standards for accessible parking spaces.
5. Amend Section 2.05 Setbacks and Buffer to remove applicability to GD3 District.
6. Amend Section 10.01 to remove applicability of parking standards to GD3 District.
7. Strike and replace Section 4.03 GD3 District.
8. Strike GD3 District from Table A-1 Table of Permissible Uses and reference Section 4.03 instead.
9. Strike GD3 District from Table A-2 Dimensional Requirements and reference Section 4.03 instead.

- 1. Conforms with or furthers the goals and policies contained in the municipal plan, including the effect of the proposal on the availability of safe and affordable housing:**
The proposed changes to the Zoning Regulations will clarify the intent of the regulations as well as will implement form based code within the Town’s Severance Corners Growth Center (GD3 District). This will increase the residential density within the growth center and therefore improve the availability of safe and affordable housing. The form based code is in keeping with the Town’s growth center plans both within the Town Plan as well as with its designation.
- 2. Is compatible with the proposed future land uses and densities of the municipal plan:**
The proposed changes to the Zoning Regulations will result in increased densities within the Severance Corners Growth Center (GD3 District) and will enhance its viability commercially as a wider range of uses will be allowed. The proposed changes are compatible with the plan.
- 3. Carries out, as applicable, any specific proposals for any planned community facilities.**
The proposed changes to the Zoning Regulations do not affect any of the planned community

facilities as enumerated on the Town's Official Map.

TOWN OF COLCHESTER, VERMONT
ZONING REGULATIONS



FIRST ADOPTED 1955
DRAFT SUPPLEMENT 32

A. General Provisions. The size and dimensions of setbacks shall be as indicated in Table A-2, Dimensional Standards, unless otherwise provided in these Regulations.

B. Arterial and Collector Streets.

1. For the arterial and collector streets listed below, minimum front setbacks shall be forty-five (45) feet from the edge of the right-of-way or greater if so provided elsewhere in this Section 2.05.

ROAD / STREET

Route 2A (*a.k.a. Main Street*)

Route 2

Route 7 (*a.k.a. Ethan Allen Highway; South of Chimney Corners is Roosevelt Highway*) (**outside of the GD3 District**)

Route 15 (*a.k.a. College Parkway*)

East Road

Malletts Bay Avenue

Holy Cross Road

Severance Road (outside of the GD3 District)

Blakely Road (outside of the General Development Districts)

2. For the arterial streets listed below, the minimum front setbacks shall be seventy-five (75) feet from the edge of the right-of-way or greater if so provided elsewhere in this Section 2.05.

ROAD / STREET

I-89

~~289~~

3. Planned Arterial and Collector Streets. Planned public arterial and collector streets, as designated by the Official Map, shall be subject to the provisions of this Section 2.05 and any lot frontage requirements.

C. Yards Abutting a Planned Right-of-Way, Sidewalk or Bikepath. The dedication of public road rights-of-way, excluding Interstate 89 and ~~289~~, shall not reduce the area and property lines used to determine conformance of any pre-existing lot and/or structure's area and coverage, and setback requirements as stated in Section 2.05 and Table A-2 of this Regulation. Evidence of the pre-existing area and property line conditions must be recorded in the Town Land Records prior to the dedication of the public rights-of-way affecting the pre-existing lot and/or structure. All new lots or substantial redevelopment of a pre-existing lot shall have a minimum setback from a right-of-way designated for a planned public right-of-way, sidewalk or bikepath equal to the front setback requirement for the district in which the lot exists, unless the yards abut any of those streets listed above in Section 2.05B, in which case the minimum setback of Section 2.05B shall apply from the edge of the planned right-of-way.

D. Setback Calculation. The horizontal distance between a lot line, including lease lot lines, and the nearest line or point of a structure. The nearest line or point of a structure shall include but not be limited to: roof eaves, window bays, stairs,

attached structures such as decks, foundations, slabs, and pillars. In the Mobile Home Park District where lease lot lines are not delineated, side yard setbacks shall be measured between structures by multiplying the setbacks of Table A-2 by two.

E. Traffic Visibility Across Yards. No shrubbery, fences, walls, or other visual obstructions shall be erected, maintained, or planted on any lot that obstructs or interferes with traffic visibility or access for emergency vehicles as required in Chapter Seven of the Colchester Code of Ordinances. In the case of corner lots, such restricted area shall be the triangular area formed by the lot lines along the streets and a line connecting them at points thirty (30) feet from the intersection of the lot lines **except in the GD3 District**.

F. Setback from Slopes. The minimum setback from a slope exceeding 45 degrees (See Appendix B) shall be fifty (50) feet.

G. Structures Requiring Setbacks. Except as specifically provided elsewhere in these Regulations, the front, side, and rear setback provisions in Section 2.05 shall apply to all structures, except for fences under six (6) feet in height, sidewalks and other pedestrian ways, driveways, single family and residential parking lots, .

H. Front Setbacks. In the case of nonresidential uses, not more than thirty percent (30%) of the area of the required front setback shall be used for driveways and parking and the balance shall be suitably landscaped and maintained in good appearance **except in the GD3 District**. No portion of the required front setback shall be used for storage or for any other purpose except as provided in this section. In addition, a continuous strip fifteen (15) feet in width traversed only by driveways and sidewalks shall be maintained between the street right-of-way line and the balance of the lot, which strip should be landscaped and maintained in good appearance. This provision shall apply also to yards that abut a right-of-way designated for a future street. Along Prim Road, Heineberg Drive, and Porter's Point Road between Heineberg Drive and Church Road, the width of the continuous strip shall be increased to twenty (20) feet for all new development. In the case of residential uses, not more than fifty percent (50%) of the area of the required front setback shall be used for driveways and parking and the balance shall be suitably landscaped and maintained in good appearance. No portion of the required front setback shall be used for storage or for any other purpose except as provided in this section.

I. Buffer Strip for Non-Residential Uses Adjacent to Residential District Boundaries **outside the General Development Districts**.

1. Where a new non-residential use is adjacent to or within fifty (50) feet of the boundary of a residential district, or where an existing non-residential use, structure or parking area that is adjacent to or within fifty (50) feet of the boundary of a residential district is proposed to be expanded, altered or enlarged, the required side or rear setback shall be increased to fifty (50) feet. A strip not less than fifteen (15) feet wide

2. Outside storage for any use shall be confined to the rear yard and shall be screened from view from any side by a sufficiently high wall or fence or by appropriate landscaping such as berms, hedges and /or shrubbery.
3. All equipment maintenance, repair or manufacturing operations shall be within enclosed structures.

4.03 General Development Three GD3

~~A. Purpose. To provide compact mixed use development within the Severance Corners neighborhood. Business and residential uses should be developed which compliment each other. Pedestrian accessibility, aesthetics and public spaces are to be emphasized. Development should occur as planned units, rather than piecemeal. High density should be permitted and encouraged as long as it is complimented, within each development unit, by public amenities, open space, and aesthetic site and building design.~~

~~B. Municipal Plan. These regulations hereby implement the relevant provisions of the Town of Colchester adopted municipal plan and are in accord with the policies set forth therein.~~

~~C. Permitted Uses. Those uses indicated in Table A-1 and accessory uses to those uses. Any uses not listed in Table A-1 are prohibited. Items that are not customary as accessory uses to those listed in Table A-1 are prohibited.~~

~~D. Conditional Uses. Those uses indicated in Table A-1 and approved pursuant to Article 8, and accessory uses to those uses. Any uses not listed in Table A-1 are prohibited. Items that are not customary as accessory uses to those listed in Table A-1 are prohibited.~~

~~E. Area, Density, and Dimensional Requirements. In the GD3 District, all requirements of this Section 4.03 and Table A-2 shall apply. Notwithstanding Section 7.06, transfer of development rights, residential density bonuses may be considered by the Development Review Board in accordance with the following standards:~~

1. ~~The project shall meet the definition of a Planned Unit Development as defined in these regulations and in accordance with Article Nine. With the sketch plan application, the applicant shall submit a density plan in accordance with the general and specific standards of Article Nine additionally and an overview plan noting the ratio of commercial square footage to residential square footage. If the project is at least 50% commercial, the applicant may apply for a 50% residential density bonus (.5 additional units for each unit permissible under the base density). If the project is at least 50% commercial and the majority of the commercial square footage is provided within the same structure as residential units,~~

- the applicant may apply for a 100% residential density bonus (one additional unit for each unit permissible under the base density); and
2. The project shall provide significant central features and community spaces. The project shall provide at least two design features and two structured spaces. Qualifying design features include towers, arcades, public atrium plazas, completely enclosed walkway connections between buildings, porticos, clock towers, kiosks or and other similar public architectural elements. Qualifying structured outdoor spaces include plazas, patios, courtyards, pedestrian plaza with benches, water feature, or other such focal feature or amenity.
 3. If an applicant has successfully applied and received approval for a 100% density bonus as noted above in #1, the applicant may add up to four additional dwelling units per acre onto the project site per Section 7.06. Maximum overall density shall not exceed twelve dwelling units per acre. The transfer of dwelling units shall either be applied for at Preliminary Plat or as a Major Amendment to the Planned Unit Development.
 4. If a density bonus, as provided herein, is approved by the DRB the final plat order shall specify a phasing plan that keeps conformance with the approved commercial and residential ratios. At no time shall the project deviate from the ratio. The DRB shall consider amendments to the ratios of 10% or less as a minor subdivision amendment. The DRB shall consider amendments to the ratios of 10% or more as a major subdivision amendment. The DRB shall not approve more dwelling units than allowed under the Zoning Regulations in effect at that time.

F. Additional Standards. In addition to the Site Plan, Conditional Use, Planned Unit Development criteria, all development in the GD3 District shall also be subject to the following standards:

1. Siting, building configuration, height, scale and design. Siting of the buildings and supporting site amenities should respect the concepts expressed below. The objective is to create and maintain a compact streetscape with buildings fronting on the sidewalks along Severance and Blakely Roads, Routes 2 & 7, and new interior roadways. Whenever possible, all parking lots shall be located behind buildings and adequately screened from Severance and Blakely Roads and Routes 2 & 7. Building setbacks for interior roads may be reduced by the Development Review Board as part of an overall PUD approval.
 - (a) Building configurations. Buildings should be designed to reduce the visual mass of the structure while creating multiple entrances to spaces that face onto pedestrian walkways.
 - (b) Building heights & scale. Buildings should vary yet respect the heights and scale of sequence set by neighboring buildings. One, two, three and four story buildings (up to a maximum of 40 feet in height) are acceptable. The height of the building may be

increased, if the project is developed as a Planned Unit Development (PUD).

~~(c) Roofs. All roof-mounted mechanical equipment and duct work which project vertically more than 1.5 feet above the roof or roof parapet shall be screened by a permanent enclosure which uses materials design and color which are consistent with the color scheme of the building.~~

~~2. Pedestrian walkways, circulation, and parking:~~

~~(a) Pedestrian accessibility. This section sets forth standards for internal pedestrian circulation systems and sidewalks outside the Town's Right Of Way. Continuous internal pedestrian walkways, no less than 5 feet in width, shall be provided from the public sidewalk or right of way to the principal customer entrance of all buildings on the site. At a minimum, walkways shall connect focal points of pedestrian activity such as, but not limited to, transit stops, street crossings, building and store entry points, and shall feature adjoining landscaped areas that includes trees, shrubs, benches, flower beds, ground covers, or other such materials for no less than 50 percent of its length. Sidewalks, no less than 5 feet in width, shall be provided along the full length of the building along any façade featuring a customer entrance, and along any façade abutting public parking areas. Such sidewalks shall be located at least six (6) feet from the façade of the building to provide planting beds for foundation landscaping, except where features such as arcades or entryways are part of the façade. Internal pedestrian walkways shall be distinguished from driving surfaces through the use of durable, low maintenance surface materials such as pavers, bricks, or scored concrete to enhance pedestrian safety and comfort, as well as the attractiveness of the walkways. Pedestrian facilities shall be maintained year round.~~

~~(c) Central features & community spaces. Buildings should offer attractive and inviting pedestrian scale features, spaces, and amenities. Entrances and parking lots should be configured to be functional and inviting with walkways conveniently tied to logical destinations. Bus stops and drop-off/pickup points should be considered as integral parts of the configuration. Pedestrian ways should be anchored by special design features such as towers, arcades, public atrium plazas, completely enclosed walkway connections between buildings, porticos, pedestrian light fixtures, bollards, planter walls, and other architectural elements that define circulation ways and outdoor spaces. Examples of outdoor spaces are plazas, patios, courtyards, and window shopping areas. The features and spaces should enhance the building and the center as integral parts of the community fabric. Each establishment subject to these standards shall contribute to the establishment or enhancement of community and public spaces by providing at least~~

~~two of the following: patio/seating area, pedestrian plaza with benches, transportation center, window shopping walkway, outdoor playground area, kiosk area, water feature, clock tower, or other such deliberately shaped area and/or a focal feature or amenity that, in the judgment of the Development Review Board adequately enhances such community and public spaces. Any such areas shall have direct access to the public sidewalk network and such features shall not be constructed of materials that are inferior to the principal materials of the buildings and landscape.~~

~~(d) Outdoor furniture. Outdoor furniture such as benches and other forms of seating, trash receptacles, lighting, etc. should be located for the convenience of the pedestrian and should be located in relation to street trees such that the amenity will remain unobstructed without excessive pruning of branches. Benches shall be per the Town's specification. Acceptable alternatives to traditional benches include backless benches, sitting walls at varying heights, and rock seating. Trash receptacles shall be logically placed to reduce litter however not visually prominent. Receptacles are best sited in the shade downwind and a respectful distance from pedestrian noses, and located so that dripping from the receptacle will not cause unsightly pavement stains. Receptacles shall be per the Town's specifications, large enough to be obvious, and every third receptacle shall be designated and signed for recycling.~~

~~(e) Parking design. Parking areas shall be designed to reduce the visual dominance of automobiles and shall be aesthetically compatible and sensitive to the built and natural landscape. Center block parking with multiple entrances from the street shall be employed wherever feasible.~~

~~3. Landscaping. Landscaping should be utilized extensively in the open spaces to add softness texture and color to the hard surfaced public areas. Dominant plant materials should be used throughout the area as a unifying element of the overall plan. Tree guards and grates shall be per the Town's specifications.~~

~~4. Dumpsters. The sharing of a dumpster by two or more users is encouraged. All dumpsters shall be located out of public areas and screened from view by appropriate landscaping or fencing. No dumpster or compaction areas, loading or other such uses shall be located within 50 feet of any public street or within 20 feet of any public sidewalk or internal pedestrian way.~~

~~5. Loading docks & delivery / loading operations. Loading docks, truck parking, utility meters, HVAC equipment, trash collection, trash compaction, and other service functions shall be incorporated into the overall design of the building and the landscaping so that the visual and acoustic impacts of these functions are fully contained and out of view from adjacent properties and public streets, and no attention is attracted to~~

~~the functions by the use of screening materials that are different from or inferior to the principal materials of the building and landscape. Delivery and loading operations should not disturb adjoining neighborhoods, or other uses. No delivery, loading, trash removal or compaction, or other such operations shall be permitted between the hours of 10:00 p.m. and 6:00 a.m.~~

4.03 Severance Corners Form-Based District

A. Purpose. To facilitate a development pattern and interconnected street network within the Severance Corners Form-Based District that is modeled on traditional New England downtowns. The district shall be characterized by higher-density, mixed-use, multi-story buildings that can accommodate retail, office, commercial, light industrial, civic and residential uses. It shall have buildings set close to the sidewalk with entrances, storefronts and windows facing the street. Streets with curbs, street trees and sidewalks shall define small- to medium-sized blocks.

B. Municipal Plan. These regulations implement the relevant portions of the Town of Colchester adopted municipal plan and are in accord with the policies set forth in the municipal plan.

C. Allowed Uses. Those uses indicated in Table 1 (below) and accessory uses to those uses. Any uses not listed in Table 1 are prohibited. Items that are not customary as accessory uses to those listed in Table 1 are prohibited. Table 1 (below) includes classes of uses (i.e. office); refer to Supplement 30 (Table A-1: Table of Uses) for a detailed list of uses within each class (i.e. general office, research facility or laboratory, medical office).

D. Establishment of Street Types. Development under the form-based code for this district shall be regulated by street type. Three street types are established, in order from highest to lowest: A Streets, B Streets, and C Streets. When the streets intersect, the primary street frontage is the highest order street type. The front of a principal building and its main entrance shall face the primary street frontage.

E. Classification of Streets. U.S. Route 7 & 2, Blakely Road and Severance Road shall be A Streets. The classification of any new public or private streets serving development within this district shall be approved by the Town of Colchester at the time of subdivision or site plan approval. Not more than 50% of the total length of new streets within any development shall be classified as a C Street.

F. Block Standards. No block, which includes an A or B Street, shall exceed a total perimeter length of 1,600 feet. Any block side on an A or B Street longer than 400 feet shall be broken up by a right-of-way allowing, at a minimum, through pedestrian connections.

G. Development Standards. All development in the Severance Corners Form-Based District shall be subject to the standards set forth in Tables 2-6 below.

H. Definitions. Terms specific to this section are defined as follows:

Frontage Buildout. Frontage buildout shall be calculated based on the widest point of a building between the minimum and maximum front setback lines and the width of the lot at the front lot line.

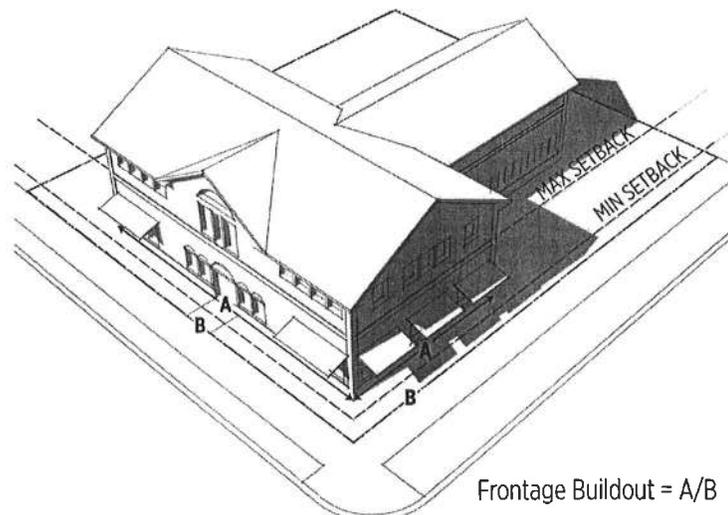
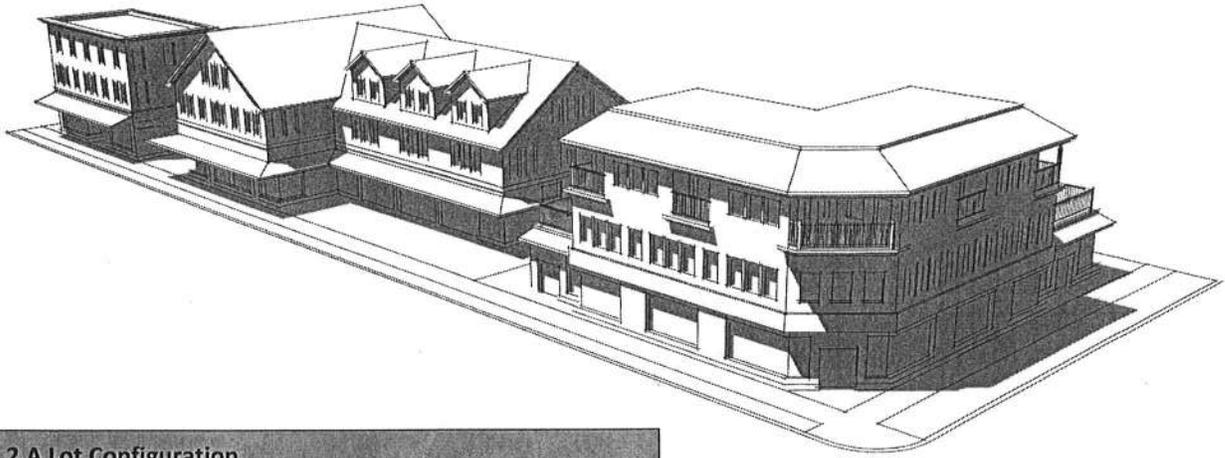


Table 1. Allowed Uses

USE (SEE SUPPLEMENT 30 (TABLE A-1: TABLE OF USES) FOR A DETAILED LIST OF USES WITHIN EACH CLASS)	A STREET		B STREET		C STREET	
	GROUND FLOOR	UPPER FLOOR	GROUND FLOOR	UPPER FLOOR	GROUND FLOOR	UPPER FLOOR
1.100 Single-Family Dwelling					P	P
1.200 Two-Family Dwelling					P	P
1.300 Multi-Family Dwelling		P		P	P	P
1.400 Dwellings (w/ services, care or treatment)	P	P	P	P	P	P
1.530 Hotel & Motel	P	P	P	P		
1.540 Extended Stay Hotel	P	P	P	P	P	P
1.550 Inn	P	P	P	P	P	P
1.600 Temporary Residences		P		P	P	P
1.700 Home Businesses		P		P	P	P
2.110 Convenience Store	P		P			
2.120 Shopping Center	P	P	P	P		
2.130 Retail Sales	P	P	P	P		
2.140 Retail Food Establishment	P	P	P	P		
2.150 Wholesale Establishment			P	P		
2.610 General Merchandise Rental	P		P			
3.100 Office	P	P	P	P	P	
3.200 General Services	P	P	P	P	P	
4.100 Manufacturing (fully enclosed)			P	P		
5.000 Edu., Cultural, Religious & Social Uses	P	P	P	P	P	P
6.100 Recreation & Entertainment (indoor)	P	P	P	P		
6.210 Private Recreational Facilities	P	P	P	P	P	P
6.220 Public Outdoor Recreation	P		P		P	
6.300 Coliseums and Stadiums	P	P	P	P		
7.000 Institutional Residence & Care Facilities		P		P		
8.000 Restaurants, Bars & Nightclubs	P	P	P	P		
9.100 Automobile Parking	P	P	P	P		
9.230 Archival Facility		P	P	P		
9.240 Distribution Facility			P	P		
11.030 Public & Semi-Public Facilities	P	P	P	P	P	P
11.300 Transit Center			P	P		
11.400 Public Garage	P	P	P	P		
11.500 Municipal Services	P	P	P	P		
11.800 Post Office	P	P	P	P		
11.900 Essential Service Facility	P	P	P	P	P	P
12.000 Towers and Related Structures		P		P		
13.000 Temporary Structures	P		P		P	P
14.000 PUDs	P	P	P	P	P	P

Table 2. A Street Dimensional Standards

A Streets are lined with mixed-use, multi-story storefront buildings that are positioned at the front of each lot. The following standards shall apply to all lots and buildings fronting on an A Street:



2.A Lot Configuration	
A Lot width	20 ft min, 180 ft max
B Lot depth	80 ft min
C Lot coverage	90% max
D Frontage buildout	60% min

2.B Building Placement	
Principal Building	
E Front setback	0 ft min, 18 ft max
F Side setback	0 ft min
G Rear setback	12 ft min
Accessory Building	
H Front setback	20 ft + principal bldg setback min
I Side setback	3 ft min
J Rear setback	3 ft min

2.C Building Form	
Principal Building	
K Stories	3 min, 5 max
L Ground floor ceiling height	12 ft min, 24 ft max
M Upper floor ceiling height	8 ft min, 16 ft max
N Portions of a building not meeting the minimum height shall not be used to calculate frontage buildout.	
Accessory Building	
O Stories	2 max
P Ground floor ceiling height	16 ft max
Q Upper floor ceiling height	12 ft max

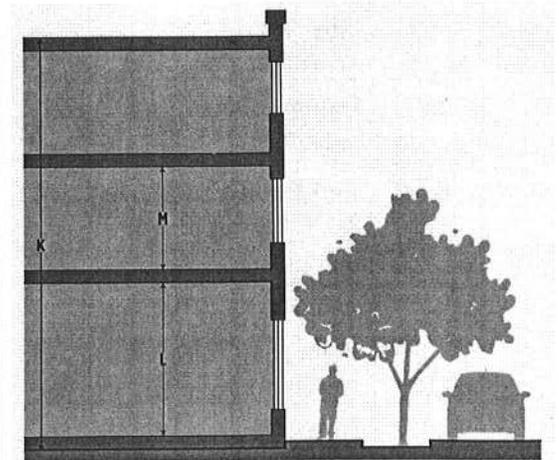
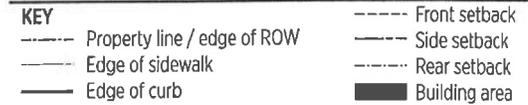
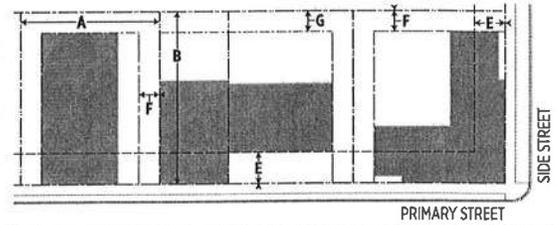
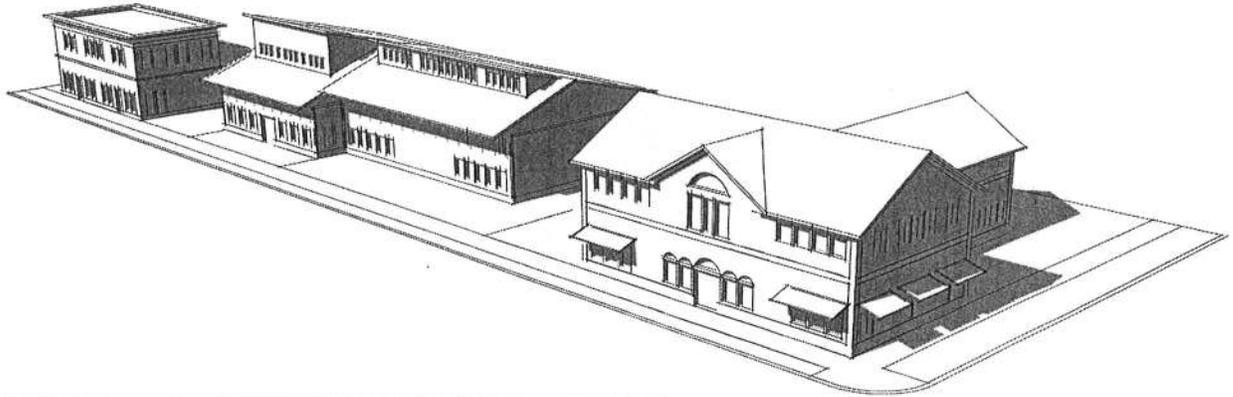


Table 3. B Street Dimensional Standards

B Streets feature mixed-use, multi-story buildings that are positioned near the front of each lot. The following standards shall apply to all lots and buildings fronting on a B Street:



3.A Lot Configuration	
A Lot width	20 ft min, 150 ft max
B Lot depth	80 ft min
C Lot coverage	85% max
D Frontage buildout	50% min

3.B Building Placement	
Principal Building	
E Front setback	0 ft min, 18 ft max
F Side setback	0 ft min
G Rear setback	12 ft min
Accessory Building	
H Front setback	20 ft + principal bldg setback min
I Side setback	3 ft min
J Rear setback	3 ft min

2.C Building Form	
Principal Building	
K Stories	2 min, 3 max
L Ground floor ceiling height	10 ft min, 24 ft max
M Upper floor ceiling height	8 ft min, 16 ft max
N Portions of a building not meeting the minimum height shall not be used to calculate frontage buildout.	
Accessory Building	
O Stories	2 max
P Ground floor ceiling height	16 ft max
Q Upper floor ceiling height	12 ft max

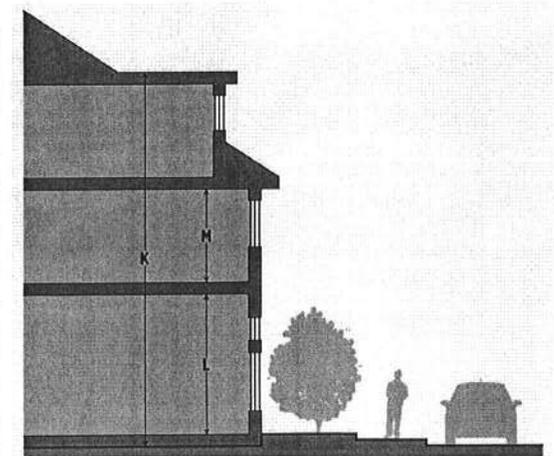
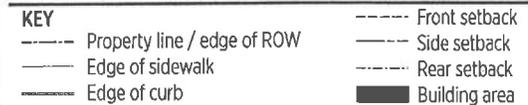
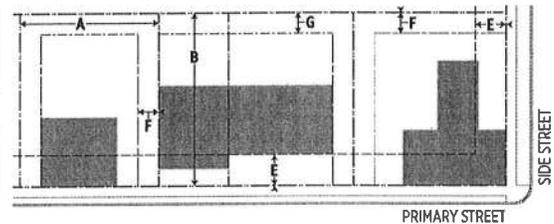
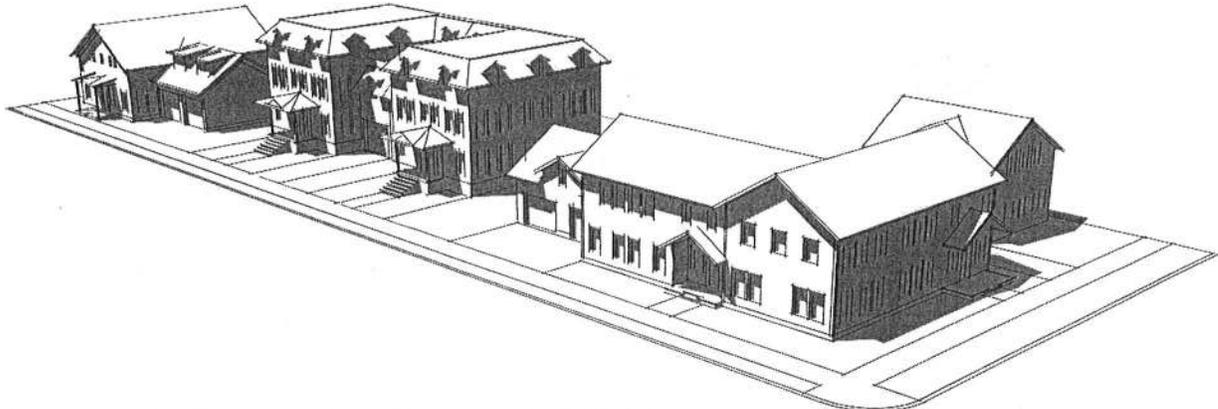


Table 4. C Street Dimensional Standards

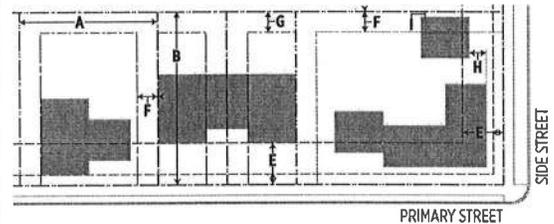
C Streets feature multi-story residential and compatible mixed-use buildings that are set back from the street behind a shallow green strip. The following standards shall apply to all lots and buildings fronting on a C Street:



4.A Lot Configuration	
A Lot width	30 ft min, 120 ft max
B Lot depth	80 ft min
C Lot coverage	85% max
D Frontage buildout	40% min

4.B Building Placement	
Principal Building	
E Front setback	6 ft min, 24 ft max
F Side setback	0 ft min
G Rear setback	12 ft min
Accessory Building	
H Front setback	10 ft + principal bldg setback min
I Side setback	3 ft min
J Rear setback	3 ft min

4.C Building Form	
Principal Building	
K Stories	1.5 min, 3 max
L Ceiling height	8 ft min, 12 ft max
Accessory Building	
M Stories	2 max
N Ceiling height	12 ft max



KEY	
--- Property line / edge of ROW	--- Front setback
--- Edge of sidewalk	--- Side setback
--- Edge of curb	--- Rear setback
	■ Building area

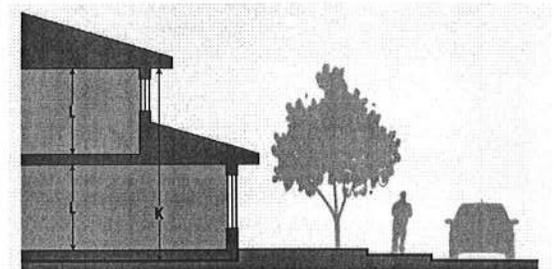
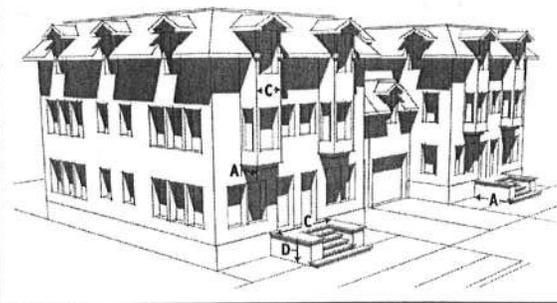
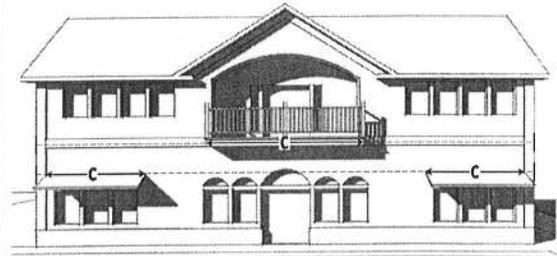
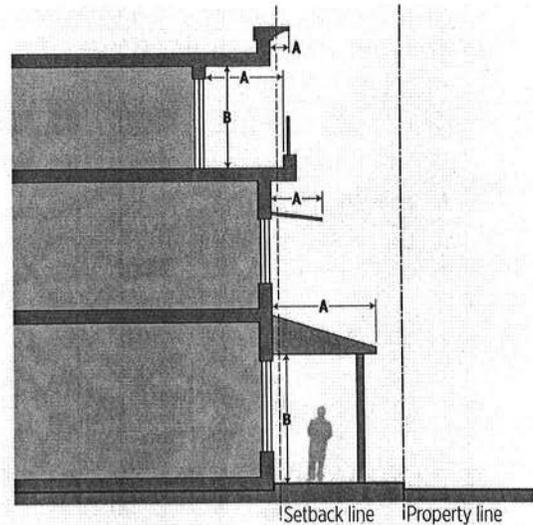


Table 5. Architectural Standards

The following standards shall apply to all buildings within the Severance Corners Form-Based District:

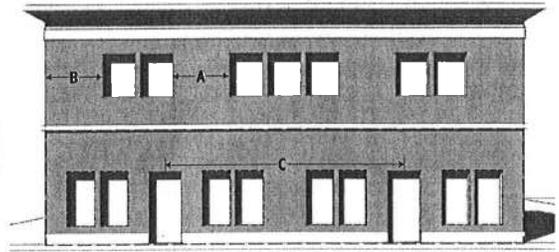
5.A Projecting Façade Elements	
Projecting facade elements may encroach within setbacks as specified below, but shall not extend beyond lot lines.	
Projecting facade elements shall not be used to meet frontage buildout requirements, with the exception of a colonnade or arcade with enclosed upper floor space above.	
Awnings and Marquees	
A Depth	4 ft min, 12 ft max
B Vertical Clearance	10 ft min
C Length	25% of façade min
Porches and Balconies	
A Depth	6 ft min, 16 ft max
B Vertical Clearance	8 ft min
C Length	8 ft min
Porches and balconies shall be open and unenclosed. Ground-floor, front porches shall not be screened.	
Colonnades and Arcades	
A Depth	8 ft min, 20 ft max
B Vertical Clearance	10 ft min
C Length	75% of façade min
Colonnades and arcades shall only be permitted on street-facing facades along an A or B Street.	
Stoops and Patios	
A Depth	6 ft min
D Height Above Sidewalk	2 ft max
C Length	6 ft min
Stoops and patios shall not restrict sidewalk width to less than 4 feet on a C Street or 6 feet on an A or B Street.	
Bay Windows	
A Depth	6 ft max
C Length	8 ft max
Bay windows shall have fenestration on both front and side surfaces.	
Eaves and Cornices	
A Depth	18 in min, 36 in max
Overhang depth for secondary roofs over building elements such as porches or dormers, or for primary roofs on small accessory buildings may be reduced to 9 inches.	



5.B Walls & Facades	
Composition	
Street-facing building facades shall have a defined base, middle and top formed by an articulated cornice and roof.	
An expression line shall delineate the division between the first and second story on facades facing an A or B Street.	
Cornices and expression lines shall either be moldings or jogs in the surface plane of the building wall with a minimum depth of 2 inches.	
All building facades facing an A or B Street shall incorporate at least one of the following elements at ground level: awnings, porches, colonnades, arcades, or storefronts.	
All building facades facing a C Street shall incorporate at least one of the following elements: porches, balconies, stoops, or bay windows.	
Bays	
Street-facing building facades greater than 60 feet in width shall be divided into bays.	
A Bay Width	20 ft min, 60 ft max
B Depth Between Bays	4 ft min

5.C Roofs	
Type	
Buildings fronting on C Streets shall have pitched roofs. Buildings fronting on an A or B Street may have pitched or flat roofs.	
Pitched Roofs	
Pitched roofs shall be a symmetrical gable, hip, gabled hip, hipped gable or cross gable with a pitch no less than 5:12.	
Secondary shed roofs with a pitch no less than 2:12 may be used over building elements such as porches or dormers.	
Flat Roofs	
Flat roofs shall incorporate a cornice and parapet designed to screen views of the roof surface and any roof-mounted equipment from street level.	

5.D Windows & Doors	
Openings in Street-Facing Facades	
Ground Floor (A Street)	40% min
Ground Floor (B Street)	30% min
Ground Floor (C Street)	30% min
Upper Floor (all streets)	10% min
A Blank Walls (all streets)	20 ft max
Windows	
All windows facing streets, except for storefront display windows, shall be rectangular & shall be oriented vertically. Vertical windows may be grouped in a horizontal opening.	
Windows facing streets shall use transparent glazing materials and shall provide view of interior spaces.	
B Except as part of a storefront, windows shall not be closer than 2 feet to building corners.	
Shutters shall be sized so as to equal the width required to cover the window opening and shall be installed with the hardware necessary to make them functional.	
Drive-through service windows may be permitted on the rear facade of buildings except for corner buildings.	
Doors	
C Pedestrian-entry doors shall be provided at intervals no greater than 50 feet along all street-facing facades.	
Sliding, patio-style doors shall not be located on ground-floor, street-facing facades.	
Service, security or garage doors shall not be located on street-facing facades, except for residential garages on C Streets (see 6.A below).	
Storefronts	
D Storefronts shall have transparent display windows covering no less than 70% of the portion of the wall between 1 and 7 feet above the adjoining sidewalk or ground.	
E Display windows shall sit on a 1- to 2-foot high bulkhead and shall be a minimum of 5 feet high. Display windows may be oriented horizontally. Residential style windows shall not be used on a storefront.	



Wall openings
 Total facade area

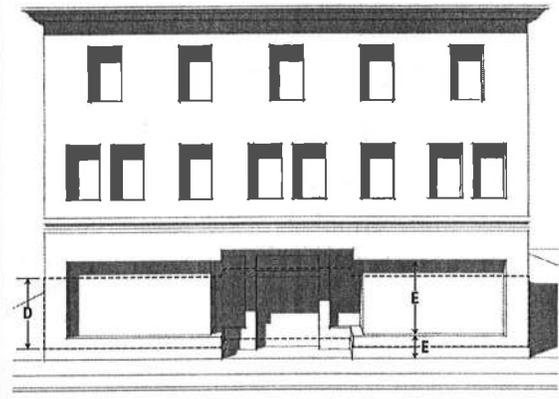
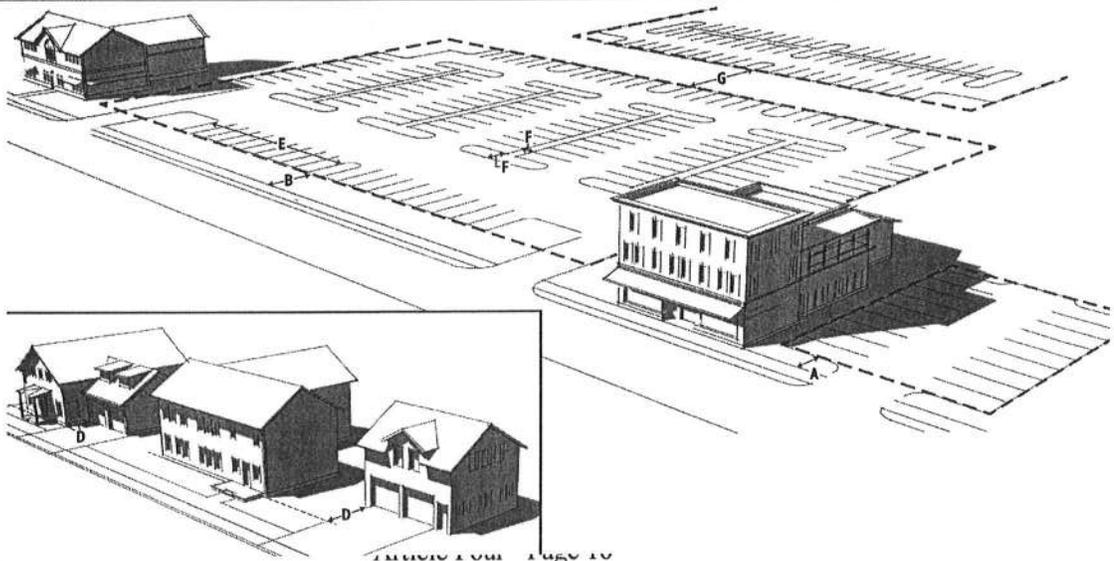


Table 6. Parking Standards

It is the intent of these standards to ensure a balance between compact pedestrian-oriented development and necessary vehicle storage. The following standards shall apply to all surface and structured parking within the Severance Corners Form-Based District in addition to all other applicable provisions of these regulations (in the case of a conflict, the standards below shall govern):

6.A Placement	
Surface Parking	
A	Surface parking located on a lot with a principal building shall be located behind the principal plane of the building and a minimum of 9 feet from the front lot line.
B	Surface parking located on a lot without a principal building shall be set back from streets with landscaped green spaces as follows:
	Setback (A Street) 30 ft min
	Setback (B Street) 20 ft min
	Setback (C Street) 10 ft min
Parking Structures	
Liner buildings shall be provided between above ground parking structures and streets. Liner buildings may be attached to or detached from parking structures.	
C	Liner Building Depth 24 ft min
Residential Garages	
Residential garages may front on C Streets, but wherever possible they should face the side or rear.	
D	Residential garage doors facing a C Street shall be set back a minimum of 8 feet behind the principal plane of the building and shall not exceed 10 feet in width when the door faces the street.
6.B Design	
E	Consecutive Surface Parking Spaces Per Row 10 max
F	Landscape strips at least 6 feet in width shall be provided between aisles of surface parking and islands at least 9 feet in width shall be provided at the end of and within aisles (to divide consecutive rows of parking). Use of LID approaches to stormwater management within surface parking lots is encouraged and landscape strips may be used to collect and infiltrate runoff.
6.C Amount	
There are no minimum number of parking spaces required for any use within this district.	
Parking spaces do not have to be contiguous with the building or use they serve.	
G	No surface parking lot shall include more than 150 spaces. This calculation shall include all contiguous parking areas not separated by buildings, streets, or green spaces at least 50 feet in width.



B. Definition of Conditional Use. A conditional use shall be defined as a use permitted in a particular zoning district upon showing that such use in a specified location will comply with all the general and specific standards for the location or operation of the use as specified in these regulations and as authorized by the DRB. Uses requiring a conditional use permit are listed in Table A-1, Table of Uses. In granting approval for a conditional use, the DRB may attach such additional, reasonable conditions and safeguards as it may deem necessary to implement the purposes of these regulations.

C. Uses and Actions Subject to Conditional Use Review. Conditional use permit approval shall be required prior to issuance of a building permit in all districts where such uses are listed as conditional uses in the District Regulations. Any alteration, extension or other change to an existing conditional use shall require review under the requirements of this section.

D. Review and Approval Procedure. Per 24 V.S.A Section 4414(3) a use designated as a conditional use in any district may be permitted by the DRB, after public notice and public hearing pursuant to 24 V.S.A. Section 4464, according to the following procedures:

1. Any conditional use is subject to site plan review and shall be reviewed under the requirements of Article 8, Site Plan and Conditional Use Review or if a PUD or within a PUD the use shall additionally be subject to the requirements of Article 9, Planned Unit Development.
2. The DRB may require submission of plans, data, or other information in addition to the requirements of Article 8, as it deems necessary.
3. The DRB shall act to approve or disapprove a requested conditional use within the time required in 24 V.S.A. Section 4464, and failure to so act shall be deemed approval.
4. In approving a conditional use, the DRB may attach additional requirements as it may deem necessary to implement the provisions of the Colchester Municipal Plan and these regulations.

E. General Review Standards. The DRB shall review the proposed conditional use for compliance with all applicable standards as contained in these regulations including specifically Articles Two and Article 10 and Appendix G. The proposed conditional use shall meet the following standards:

1. The proposed use, in its location and operation, shall be consistent with the planned character of the area as defined by the Town of Colchester Municipal Plan.
2. The proposed use shall conform to the stated purpose of the district in which the proposed use is to be located.
3. The DRB shall take into consideration minimum lot size; size, design, and location of structures and service areas; and distance from adjacent or nearby uses.
3. The proposed use shall not result in **an undue** adverse effect on any of the following:
 - (a) The capacity of existing or planned community facilities;

ARTICLE 10: DEVELOPMENT STANDARDS

- 10.01 Off Street Parking, Loading, & Circulation
- 10.02 Outdoor Illumination
- 10.03 Outside Storage & Display
- 10.04 Landscaping, Screening, and Street Trees
- 10.05 Utility Cabinets and Similar Structures
- 10.06 Trash Containers
- 10.07 Numbering Systems
- 10.08 Solar Collectors
- 10.09 Wind Turbines
- 10.10 Telecommunications Towers & Commercial Satellite Dishes
- 10.11 Satellite Dishes Other than Commercial Satellite Dishes.
- 10.12 Bus Shelters
- 10.13 Home Occupations & Businesses
- 10.14 Seasonal Dwelling Unit Conversion

10.01 Off Street Parking, Loading, and Circulation

A. Purpose. In order to minimize traffic congestion, air pollution, and the risk of motor vehicle and pedestrian accidents, as well as to promote other elements of sound community planning, parking, loading spaces, circulation, and access shall be required of all structures and land uses. Parking spaces, aisles, and circulation shall be provided and kept available as an accessory use to all permitted and conditional uses of structures, lots, and land in amounts not less than those specified in Section O. The requirements of this section shall apply under the following circumstances:

1. All new structures erected for use on a property.
2. Any structure which is hereafter altered or enlarged.
3. All new uses of a property.
4. Any use of a property which is hereafter altered or enlarged.
- 5. The property is located outside of the General Development Three District.**

B. Location of Off Street Parking, Loading, and Vehicle Entrances.

1. Except as provided in Section F, off street parking and loading that is required for a use or uses under this section shall be located entirely on the property on which the use or uses exist. The Development Review Board may approve required off street parking that is located off the property on which a use or uses exist, according to Section E.
2. The location, aisle widths, and layout of interior drives shall provide for efficient interior circulation and the safety of pedestrians and vehicles.
3. The location of parking areas and loading docks shall prevent conflicts with entering and exiting traffic onto a public street and prevent

said premises. When this subsection is utilized, the site plan shall contain a statement, signed by the applicant in such a form as shall be approved by the Town Attorney, consenting to the provisions contained herein. In addition, the property owner shall be required to submit a covenant, for filing in the Town Clerk's office, in such a form as shall be approved by the Town Attorney indicating consent to the provisions of this subsection.

I. Handicapped – Accessible Parking Spaces. Parking spaces for handicapped persons shall be provided for all non-residential uses. The size, number, and location of spaces shall comply with the ADA Accessibility Guidelines. Handicap accessible spaces are required to be eight feet (8'0") wide, with an adjacent access aisle five feet (5'0") wide. One in every ~~eight (8)~~ **six (6)** accessible spaces must have an access aisle eight feet (8'0") wide and must be signed "van accessible". The number of accessible spaces required is shown in Table 10-1 below. Handicapped parking spaces and aisles shall be level with surface slopes not exceeding ~~1:4850 (2%)~~ in all directions.

Table 10-1 Minimum Number of Accessible Parking Spaces Required

Total parking spaces in lot	Number of accessible spaces in lot
1 to 25	1
26 to 50	2
51 to 75	3
76 to 100	4
101 to 150	5
151 to 200	6
201 to 300	7
301 to 400	8
401 to 500	9
501 to 1,000	2% of total number
1,001 and over	20, plus 1 for every 100, or fraction thereof, over 1,000

J. Recreational Vehicles. Parking or storage facilities for recreational vehicles shall be provided in all multi-family residential developments of eighteen (18) units or more. Recreational vehicles shall not be stored on any common open lands other than those specifically approved for such purpose by the DRB through the review process. The Development Review Board may waive this provision only upon demonstration by the applicant that the storage and parking of recreational vehicles shall be prohibited within all private and common areas of

2. Access. The property shall have adequate access in accordance with the adopted Colchester Code of Ordinances Chapter Seven and any amendments thereto. The ~~Life-Safety~~ **Building** Inspector shall be the reviewing authority for adequate access.
 3. Potable Water. The property shall have year-round access to potable water that meets all current Town and State regulations.
 4. The proposed year-round residential use is a permitted or otherwise allowed in the District.
 5. Two off-street parking spaces are required per dwelling unit.
- D. Improvements. A seasonal dwelling unit may be rehabilitated or otherwise repaired through the building permit process so long as the footprint is maintained or reduced and a compliant septic integrity report is submitted in accordance with Chapter Eight of the Colchester Code of Ordinances.
- E. Extension. A seasonal dwelling unit may be reconstructed or enlarged through the building permit process so long as the following conditions are met:
1. On-site Sewage Disposal. The property shall have a septic system plan showing the existing septic area and an approvable replacement area. There shall be no encroachments into the existing septic area or the replacement area. A compliant septic integrity report shall be submitted in accordance with Chapter Eight of the Colchester Code of Ordinances. No increases to flows shall be allowed.
 2. Potable Water. The property shall have access to potable water that meets all current Town and State regulations.
 3. The residential use is a permitted or otherwise allowed in the District.
 4. Two off-street parking spaces are required per dwelling unit.
- F. Seasonal Dwelling Units shall not be subject to the time limits established under Section 2.12A(3).

Unless substantial construction has commenced and is continuing, a zoning permit, sign permits, or water & wastewater permit shall expire twelve (12) months from the date of issuance unless fifty (50) percent of the work to be done under it shall have been completed during such period. Provided, however, if construction has not commenced or continued, the Zoning Administrator may extend the permit for a specified period (not to exceed 6 months) upon finding of objective evidence of the intent and effort to pursue the project for which the permit was issued.

B. Other Approvals.

Unless substantial construction has commenced and is continuing, an approval for conditional use, variance, or site plan shall expire one year from the date of issuance of final approval in accordance with Article Eight.

11.06 Fees.

The Select Board shall establish, and may revise, by ordinance or resolution, reasonable fees to be charged with respect to the administration of this Regulation.

11.07 Violations; Prosecution; Penalties.

A violation of these regulations shall constitute a civil ordinance violation. Each day that a violation continues shall constitute a separate offense. Offenses may be prosecuted through the issuance of a municipal civil complaint ticket or the commencement of an enforcement action as described below.

A. Municipal Civil Complaint Ticket.

Pursuant to 24 V.S.A. Chapter 59 and 24 V.S.A. Chapter 29, any designated enforcement officer, as referenced in section 11.02 above, may commence prosecution for any zoning violation by serving two copies of a municipal civil complaint ticket either in person or by first class mail on the alleged offender, and thereafter promptly filing the original with the Judicial Bureau. The issuing officer shall follow the procedure set forth by the Judicial Bureau for municipal complaint tickets. The first offense

ticketed for a violation shall be punishable by a fine of ~~one~~ **two** hundred dollars (~~\$1200.00~~), the waiver fee shall be ~~fifty~~ **one hundred** dollars (**\$5100.00**); a second offense ticketed for the same violation shall be punishable by a fine of ~~two~~ **four** hundred dollars (**\$2400.00**), the waiver fee shall be ~~one~~ **two** hundred dollars (**\$1200.00**); a third offense ticketed for the same violation shall be punishable by a fine of ~~five~~ **eight** hundred dollars (**\$5800.00**), the waiver fee shall be ~~two~~ **four** hundred and ~~fifty~~ dollars (**\$25400.00**). Upon the fourth offense, the Town may request that the case be transferred from the Judicial Bureau to the Environmental Court, or any other court of competent jurisdiction.

B. Enforcement Action under 24 V.S.A. Chapter 117.

An enforcement action may be brought under 24 V.S.A. Section 4451 for any violation of this ordinance. Pursuant to an enforcement action, any person who violates this ordinance shall be fined not more than ~~one~~ **two** hundred dollars (~~\$2400~~) for each offense. No action may be brought under this subsection unless the alleged offender has had at least seven (7) days' warning notice by certified mail. An action may be brought without the seven (7) day notice and opportunity to cure if the alleged offender repeats the violation of the by-law or ordinance after the seven (7) day notice period and within the next succeeding twelve (12) months. The seven (7) day warning notice shall state that a violation exists, that the alleged offender has an opportunity to cure the violation within the seven (7) days and that the alleged offender will not be entitled to an additional warning notice for a violation occurring after the seven (7) days. In default of payment of the fine, such person, the members of any partnership, or the principal officers of such corporation, shall each pay double the amount of such fine. Each day that a violation is continued shall constitute a separate offense. All fines collected for the violation of these regulations shall be paid over to the Town.

C. Unsafe Signs.

Any sign that is unsafe or insecure, or is a menace to the public, or has been constructed, erected or is being maintained in violation of the provisions of this Ordinance, the owner of the property shall be duly notified per either subsection A or B above and provided such opportunity to cure the violation. If the owner fails to cure the violation within the time set forth in the notice, the Zoning Administrator may order said sign to be removed at the expense of the owner of the property upon which it is located. The Zoning Administrator may cause any sign which is an immediate peril to person or property, to be removed without notice.

GENERAL CATEGORIES	SPECIFIC USE	R3	R2	R1	R5	R10	GD1	GD2	GD3	GD4	GD4C	COM	IND	BD	AGR	MHP	FP	AMU	
1.000 RESIDENTIAL																			
1.100 Single-Family Dwelling	1.110 Detached, one dwelling unit per lot																		
	1.111 Site-built and modular structure	P	P	P	P	P	P	C	P	P	P				P				P
	1.112 Mobile home	P	P	P	P	P	P	C	P	P	P				P	P			P
	1.113 Occupant is directly engaged with on-premises commercial use						P	C	P	P	P	P							
	1.121 Site-built	P1	P1	P1	P1	P1	P1	C1	P4	P1	P1				P1				P1
	1.122 Mobile home park															P1			
1.200 Two-Family Dwelling	1.210 Duplex	P	P	P	P	P	P	P	P	P	P				P				P
	1.220 Primary residence with accessory apartment	P	P	P	P	P	P	C	P	P	P				P				P
1.300 Multi-Family Dwelling	1.310 Multi-family residence	P1	P1	P1	P1	P1	P1	P1	P4	P1	P1				P1				P1
1.400 Dwellings Emphasizing Special Services, Treatment or Supervision	1.410 Residential Care Home	P	P	P	P	P	P	C	P	P	P				P				P
	1.440 Halfway house											C							
	1.450 Congregate Housing	P1	P1	P1	C	C	P1	P1	P4	P1	P1	C1			C				C
1.500 Miscellaneous, Rooms for Rent Situations	1.510 Boarding house	P	P	P	C	C	P	P	G	C	C				C				C
	1.520 Bed & Breakfast	P	P	P	P	P	P	P	P	P	P				P				P
	1.530 Hotel & Motel							C		C	C	C							
	1.540 Extended Stay Hotel							C		C	C	C							
	1.550 Inn								G										
	1.560 Campground						C			C	C	P							
	1.570 Primitive Campground																		
1.600 Temporary Emergency, Construction and Repair Residences		P	P	P	P	P	P	P	P	P	P	P	P	P	C				C
1.700 Home Businesses	1.710 Home occupations	P	P	P	P	P	P	P	P	P	P				P	P			P
	1.720 Home businesses				C	C	C	C	G	C	C				C				C
1.800 Planned Residential Development		P	P	P	P	P	P	P	P	P	P				P	P			P

1 = Subject to PRD Standards
 Table of uses only. For specific conditions and exceptions & GD3 District see text.
 Table A-1: Table of Uses - Page 1

GENERAL CATEGORIES	SPECIFIC USE	R3	R2	R1	R5	R10	GD1	GD2	GD3	GD4	GD4C	COM	IND	BD	AGR	MHP	FP	AMU
2.000 SALES AND RENTAL OF GOODS	2.100 General Sales store																	
	2.111 With gasoline sales										C	P	C					
	2.112 Without gasoline sales						P	P	P	P	P	P	P					
	2.120 Shopping Center						P	P	P	P	P	P	P					
	2.130 Retail Sales						P	P	P	P	P	P	P					
	2.131 With store area less than 10,000 s.f. without drive-up						C	C	C	C	C	P	P					
	2.132 With store area less than 10,000 s.f. with drive-up																	
	2.133 With store area more than 10,000 s.f. but less than 50,000 s.f. without drive-up																	
	2.134 With store area more than 10,000 s.f. but less than 50,000 s.f. with drive-up																	
	2.135 With store area greater than 50,000 s.f. without drive-up																	
	2.136 With store area greater than 50,000 s.f. with drive-up																	
	2.137 Retail sales with a significant component of goods sold being ag or produced on the premises							P	P	P	P	P	P					
2.140 Retail Food Establishment	2.141 With store area less than 5,000 s.f.						P	P	P	P	P	P						
	2.142 With store area greater than 5,000 s.f. & supermarkets						C	C			C	P						
2.150 Wholesale Establishment	2.151 With store area less than 10,000 s.f.						C	C			C	P	P					
	2.152 With store area more than 10,000 s.f. but less than 50,000 s.f.												P	P				

1 = Subject to PRD Standards
 Table of uses only. For specific conditions and exceptions & GD3 District see text.
 Table A-1: Table of Uses - Page 2

GENERAL CATEGORIES	SPECIFIC USE	R3	R2	R1	R5	R10	GD1	GD2	GD3	GD4	GD4C	COM	IND	BD	AGR	MHP	FP	AMU
	2.152 With store area greater than 50,000 s.f.											P	P	P				
	2.171 Small equipment sales with associated repair							C			C	P	C	P				
	2.172 Large equipment										C	P	P	P				
	2.180 Commercial Greenhouse				P	P	P	P	P	P	P	P		P	P			P
	2.190 Roadside stands for the sale of produce grown on the premises				P	P	P	C	P	P	P	P		P	P			P
2.200 Mobile Home Sales & Rental																		
2.300 Marine Sales	2.310 Without associated service & repair						C					P	C	C				
	2.320 With associated service & repair						C					C	C	C				
2.400 Automobile Sales	2.410 Without associated service & repair											C	C	C				
	2.420 With associated service & repair											C	C	C				
2.500 Automotive Accessory Sales	2.510 Without installation						P	P	P	P	P	P	C	C				
	2.520 With installation						C	C			C	P	C	C				
2.600 Rental	2.6100 General Merchandise						C	C	C	P	P	P	P	P				
	2.620 Equipment							C			C	P	P	P				
	2.630 Automobile											C	P	P				

1 = Subject to PRD Standards
 Table of uses only. For specific conditions and exceptions & GD3 District see text.
 Table A-1: Table of Uses - Page 3

GENERAL CATEGORIES	SPECIFIC USE	R3	R2	R1	R5	R10	GD1	GD2	GD3	GD4	GD4C	COM	IND	BD	AGR	MHP	FP	AMU
3.000 OFFICE & SERVICES																		
3.100 Office	3.110 General Office																	
	3.120 Research Facility or Laboratory						P	P	P	P	P	P	C	C				
	3.130 Medical Office		C				P	P	P	P	P	P	P	C				
3.200 General Services	3.131 With not more than 10,000 square feet of gross floor area						C	P	G	C	C	C		C				
	3.132 With greater than 10,000 square feet of gross floor area						C	C	G	C	C	C		C				
	3.133 With Clinic						C	C	G	C	C	C		C				
	3.210 Radio & Television Studio						P	P	P	P	P	P	P	P				
	3.220 Financial Institution						P	P	P	P	P	P	C	C				
3.230 Banks	3.231 With drive-up windows						C	C	C	C	C	P	C	C				
	3.232 Without drive-up windows						P	P	P	P	P	P		C				
3.240 Personal or Business Service	3.240 Personal or Business Service						P	P	P	P	P	P		P				
	3.250 Artist Production Studio						P	P	P	P	P	P						
	3.260 Funeral home						P	P	P	P	P	P						
	3.270 Crematorium												C					
	3.280 Drycleaner & Laundromat						C	P	P	P	P	P		C				
	3.281 Majority of business is walk-in or self-serve						C						P					
3.290 Animal Services	3.282 Majority of business is not walk-in						C					P						
	3.291 Veterinary Clinic						C	C	C	P	P	P		C	C			C
	3.292 Kennel																	
	3.293 Grooming Facility																	
	3.294 Animal Shelter																	
3.300 Automotive Services	3.311 Without body work Repair																	

1 = Subject to PRD Standards
 Table of uses only. For specific conditions and exceptions & GD3 District see text.
 Table A-1: Table of Uses - Page 4

GENERAL CATEGORIES	SPECIFIC USE	R3	R2	R1	R5	R10	GD1	GD2	GD3	GD4	GD4C	COM	IND	BD	AGR	MHP	FP	AMU	
	3.320 Body Work										C	C	P	P					
	3.330 Car Wash										C	C	P	P					
	3.340 Gasoline Sales										C	P	C	C					
	3.341 Without Service & Repair										C	P	C	C					
	3.342 With Service & Repair											P	C	C					
4.000 MANUFACTURING & PROCESSING, OF GOODS, MERCHANDISE AND EQUIPMENT																			
4.100 All operations conducted entirely within fully enclosed building	4.110 Printing & binding production facilities																		
	4.120 Photocopy & printing shop with accessory retail						C	C	€	C	P	P	P	P					
	4.130 Equipment repair										P	P	P	P					
	4.132 Large equipment										P	P	P	P					
4.140 Manufacturing & processing with related distribution & warehousing								C		C	C		P	P					
4.200 Operations conducted within & outside fully enclosed building	4.210 Lumber & contractor's yard										C	C	P	P					
	4.220 Salvage yard												C	C					
	4.230 Landscape contractor's yard											P	P	P					P
4.3 Slaughter House													C						
5.000 EDUCATIONAL, CULTURAL, RELIGIOUS, PHILANTHROPIC, SOCIAL, FRATERNAL USES																			
5.100 Schools	5.110 Elementary and secondary including associated grounds and athletic and other facilities	C	C	C	C	C	C	P	P	P	P	P							C
	5.120 Trade or vocational schools						P	P	P	P	P	P	P	P					

1 = Subject to PRD Standards
 Table of uses only. For specific conditions and exceptions & GD3 District see text.
 Table A-1: Table of Uses - Page 5

GENERAL CATEGORIES	SPECIFIC USE	R3	R2	R1	R5	R10	GD1	GD2	GD3	GD4	GD4C	COM	IND	BD	AGR	MHP	FP	AMU	
	5.130 Colleges, universities, community colleges (including associated facilities such as dormitories, office buildings, athletic fields, etc.)						P	P	P	P	P	C		C					
	5.200 Religious Use such as churches, synagogues, and temples (including associated residential structures for religious personnel and associated buildings but not including elementary school or secondary school buildings)	C	C	C	C	C	P	P	P	P	P	P		C	C			C	
	5.300 Orphanage						C	C	C	C	C								
	5.400 Cultural Facilities such as libraries, museums, art galleries, art centers and similar uses	P	P	P	P	P	P	P	P	P	P	P		C				C	
	5.410 Located within a building having a gross floor area not exceeding 500 square feet																		
	5.420 Within a building having a gross floor area exceeding 500 square feet	C	C	C	C	C	P	P	P	P	P	P		C				C	
	5.500 Social clubs such as, union halls, fraternal clubs and lodges						C	C	C	P	P	P		C					
6.000 RECREATION & ENTERTAINMENT																			
	6.100 Activity conducted entirely within building or substantial structure						P	P	P	P	P	P	C	P					
	6.110 Athletic facility																		
	6.120 Movie theaters						P	P	P	P	P	P		C					
	6.121 Seating capacity of not more than 300																		
	6.122 Seating capacity of more than 300						C	C	C	C	C	P		C					
	6.130 Theaters & Music Halls						C	C	C	C	C	P		C					
	6.131 Seating capacity of not more than 300																		
	6.132 Seating capacity of more than 300																		
	6.140 Adult Entertainment											C							
	6.200 Activity conducted primarily outside enclosed buildings or structures	P	P	P	P	P	P	P	P	P	P	P	P	P	C		C	C	
	6.210 Recreational facilities –privately owned facilities such as golf and country clubs, etc.				C	C	C	C	C	P	P	P		C	C		C	C	
	6.220 Publicly owned and operated outdoor recreational facilities such as athletic fields, golf courses, tennis courts, swimming pools, parks, etc.																		

1 = Subject to PRD Standards
 Table of uses only. For specific conditions and exceptions & GD3 District see text.
 Table A-1: Table of Uses - Page 6

GENERAL CATEGORIES	SPECIFIC USE	R3	R2	R1	R5	R10	GD1	GD2	GD3	GD4	GD4C	COM	IND	BD	AGR	MHP	FP	AMU	
	6.230 Stables and arenas for horses				P	P	C	C		P	P				P			P	
	6.240 Racing tracks - automobile and motorcycle												C						
	6.250 Open air markets, farm and craft markets, produce markets				C	C	P	P	G	P	P	P		C	P			P	
	6.260 Drive-in movie theaters																		
	6.270 Water-based facilities				C	C	C	C		C	C	P							
	6.272 Residential Marine Associations	C	C	C	C	C	C	C											
6.300 Coliseums, stadiums and all other facilities listed in the 6.100 & 6.200 classifications designed to seat or accommodate more than 1,000 people										C	C	P	C	C					
7.000 INSTITUTIONAL RESIDENCE, CARE, OR CONFINEMENT FACILITIES																			
7.100 Hospital																			
7.200 Nursing Care Home		P	P	P	P	P	C	P		C	C	P						P	
7.300 Nursing care institution							C	P	P	P	P				P				
7.400 Mental Health Facility (other than halfway houses)							C	P	G	P	P	C							
7.500 Correctional facilities							C	C				C	C						
7.600 Home-based day care facilities up to six children		P	P	P	P	P	P	P	P	P	P				P	P		P	
7.700 Intermediate day care facilities		P	P	P	P	P	P	P	P	P	P	C	C	C	P	C		P	
7.800 Large day care facilities		C	C	C	C	C	P	P	P	P	P	C	C	C	C	C		C	
8.000 RESTAURANTS, BARS, NIGHT CLUBS																			
8.100 Restaurants	8.110 Standard																		
	8.111 With outdoor seating						P	P	P	P	P	P		C					
	8.112 Without outdoor seating						P	P	P	P	P	P		C					
	8.120 Short-Order	8.121 No drive-up service						C	C	G	C	P	P	C	C				
		8.122 With outdoor seating						C	C	G	C	P	P	C	C				
8.123 Drive-up service allowed							C	C	G	C	C	C		C					
8.200 Bars																			

1 = Subject to PRD Standards
 Table of uses only. For specific conditions and exceptions & GD3 District see text.
 Table A-1: Table of Uses - Page 7

GENERAL CATEGORIES	SPECIFIC USE	R3	R2	R1	R5	R10	GD1	GD2	GD3	GD4	GD4C	COM	IND	BD	AGR	MHP	FP	AMU
8.300 Night Clubs											C	C						
8.400 Seasonal Mobile Food Units							C	C	€	C	C	C	C	C				P
9.000 STORAGE AND PARKING																		
9.100 Automobile parking garages or parking lots not located on a lot on which there is another principle use to which the parking is related							C	C	€	C	C	P	P	P				
9.200 Storage of goods not related to the sale or use of those goods on the same lot where they are stored	9.210 Warehousing with all storage within completely enclosed structures											C	P	P				P
	9.220 Mini-storage with all storage within completely enclosed structures											C	C	C				
	9.230 Archival Facility									C		P	P	P				
	9.240 Distribution Facility									C		P	P	P				P
	9.250 Auto, marine, or equipment storage outside completely enclosed structures										C	P	P	P				C
10.000 AGRICULTURAL, SILVICULTURAL, MINING, QUARRYING OPERATIONS																		
10.100 Agricultural operations	10.110 Excluding livestock				P	P	P			P	P				P		C	P
	10.120 Including livestock				P	P	C			P	P				P		C	P
10.200 Silvicultural operations		C	C	C	P	P	P	C	€	P	P	P	P	P	P	C	C	P
10.300 Mining operations					C	C						C	P	P	C		C	C
10.400 Reclamation landfill													P	C				
10.500 Firewood operations					P	P							P	P	P			P
11.000 MISCELLANEOUS PUBLIC AND SEMI-PUBLIC FACILITIES																		
11.100 Cemetery		P	P	P	P	P	P	P	P	P	P	C	C		C			C
11.200 Waste	11.210 Sanitary Landfill												C					

I = Subject to PRD Standards
 Table of uses only. For specific conditions and exceptions & GD3 District see text.
 Table A-1: Table of Uses - Page 8

GENERAL CATEGORIES	SPECIFIC USE	R3	R2	R1	R5	R10	GD1	GD2	GD3	GD4	GD4C	COM	IND	BD	AGR	MHP	FP	AMU
Processing	11.220 Transfer Station												C	C				
11.300 Transit Centers	11.310 Train Station						P	P	P	P	P	P	P					
	11.320 Train Yard												C					
	11.330 Bus Station						C	C	C	C	C	P	P	P				
11.400 Public Garage	11.410 Local						C					C	P	P				
	11.420 State							C				C	P	P				
11.500 Municipal Services	11.510 Town Hall	C	C	C	C	C	C	P	P	P	P	P		C				
	11.520 Community Center	C	C	C	C	C	C	P	P	P	P	P		C	C			C
	11.530 Police stations	C	C	C	C	C	C	P	P	P	P	P		C	C			C
	11.540 Fire stations	C	C	C	C	C	C	P	P	P	P	P		C	C			C
11.550 Rescue squad, ambulance services	C	C	C	C	C	C	P	P	P	P	P		C	C			C	
11.600 National guard center							C	C				C	P	C				
11.700 Civil defense operations							C	C					C	C				
11.800 Post Office							P	P	P	P	P	P	P	P				
11.900 Essential Service Facility	11.910 Neighborhood	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	C	P
	11.920 Community or regional	C	C	C	C	C	C	C	C	C	C	P	P	P	P			
12.000 TOWERS AND RELATED STRUCTURES																		
12.100 Tower	12.110 Less than 50 feet tall	C	C	C	P	P	P	P	P	P	P	P	P	P	P	C		P
	12.120 50 feet tall or greater	C	C	C	C	C	C	C	C	C	C	P	P	P	C	C		C
	12.130 Wind Turbine	C	C	C	C	C	C					C	C	C	C			C
13.000 TEMPORARY STRUCTURES USED IN CONNECTION WITH THE CONSTRUCTION OF A PERMANENT BUILDING OR FOR SOME NON-RECURRING PURPOSE		P	P	P	P	P	P	P	P	P	P	P	P	P	P			P
14.000 PLANNED UNIT DEVELOPMENT							P	P	P	P	P	P	P	P				

1 = Subject to PRD Standards
 Table of uses only. For specific conditions and exceptions & GD3 District see text.
 Table A-1: Table of Uses - Page 9

District	Density	Minimum Lot Size	Frontage	Primary Front Yard Setback	Primary Side Yard Setback	Primary Rear Yard Setback	Acc. Front Yard Setback	Acc. Side Yard Setback	Acc. Rear Yard Setback	Total Lot Coverage Max	Primary Building Height Max	Acc. Building Height Max
R3 Class I	1 du./10,000 sf	10,000 sf	1 du./100 feet	30 ft	15 ft	25 ft	30 ft	10 ft	10 ft	30%	40 ft ridge 35 ft flat	25 ft ridge 20 ft flat
R3 Class II	1 du./15,000 sf	15,000 sf	1 du./100 feet	30 ft	15 ft	25 ft	30 ft	10 ft	10 ft	30%	40 ft ridge 35 ft flat	25 ft ridge 20 ft flat
R2 Class I	1 du./15,000 sf	15,000 sf	1 du./125 feet	30 ft	15 ft	25 ft	30 ft	10 ft	10 ft	30%	40 ft ridge 35 ft flat	25 ft ridge 20 ft flat
R2 Class II	1 du./20,000sf	20,000 sf	1 du./125 feet	30 ft	15 ft	25 ft	30 ft	10 ft	10 ft	30%	40 ft ridge 35 ft flat	25 ft ridge 20 ft flat
R1 Class I	1 du./30,000 sf	30,000 sf	1 du./150 ft	30 ft	15 ft	25 ft	30 ft	10 ft	10 ft	30%	40 ft ridge 35 ft flat	25 ft ridge 20 ft flat
R1 Class II	1 du./40,000sf	40,000 sf	1 du./150 ft	30 ft	15 ft	25 ft	30 ft	10 ft	10 ft	30%	40 ft ridge 35 ft flat	25 ft ridge 20 ft flat
R5	1 du./5 acres	40,000 sf	1 du./300 ft	75 ft	50 ft	100 ft	75 ft	50 ft	100 ft	20%	40 ft ridge 35 ft flat	35 ft ridge 30 ft flat
R10	1 du./10 acres	40,000 sf	1 du./300 ft	75 ft	50 ft	100 ft	75 ft	50 ft	100 ft	20%	40 ft ridge 35 ft flat	35 ft ridge 30 ft flat
GD1 Class I	1 du./10,000 sf	10,000 sf	1 du./100 ft	30 ft	10 ft	30 ft	30 ft	10 ft	30 ft	60%	40 ft ridge 35 ft flat	30 ft ridge 25 ft flat
GD1 Class II	1 du./20,000sf	20,000 sf	1 du./100 ft	30 ft	10 ft	30 ft	30 ft	10 ft	30 ft	60%	40 ft ridge 35 ft flat	30 ft ridge 25 ft flat
GD2 Class I	(MU) 1 du / 4,356 sf	20,000 sf	1 du./100 ft	30 ft	15 ft	30 ft	45 ft	15 ft	30 ft	70 %	40 ft ridge 35 ft flat	40 ft ridge 35 ft flat
GD2 Class II	(MU) 1 du / 10,890 sf	20,000 sf	1 du./100 ft	30 ft	15 ft	30 ft	45 ft	15 ft	30 ft	70 %	40 ft ridge 35 ft flat	40 ft ridge 35 ft flat
GD3	1 du./10,000sf	10,000-sf	1 du./100-ft	30	15-ft	25-ft	45-ft	15-ft	30-ft	70%	40-ft-ridge 35-ft-flat	40-ft-ridge 35-ft-flat
GD4	1 du./10,000sf	10,000 sf	1 du./100 ft	30	15 ft	25 ft	45 ft	15 ft	30 ft	60%	20 ft eave 34 ft ridge 24 flat rooflines	20 ft eave 34 ft ridge 24 flat rooflines

District	Density	Minimum Lot Size	Frontage	Primary Front Yard Setback	Primary Side Yard Setback	Primary Rear Yard Setback	Acc. Front Yard Setback	Acc. Side Yard Setback	Acc. Rear Yard Setback	Total Lot Coverage Max	Primary Building Height Max	Acc. Building Height Max
BD		10,000 sf	100 ft	25 ft.	15 ft.	25 ft.	25 ft.	15 ft.	25 ft.	80%	40 ft ridge 35 ft flat	40 ft ridge 35 ft flat
COM		20,000 sf	100 ft	45 ft	15 ft	30 ft	45 ft	15 ft	30 ft	Class I 70% Class II 60%	40 ft ridge 35 ft flat	40 ft ridge 35 ft flat
IND		40,000 sf	150 ft	45 ft	20 ft	25 ft	45 ft	15 ft	15 ft	80%	40 ft ridge 35 ft flat	40 ft ridge 35 ft flat
AGR	1 du./25 acres	40,000 sf	1 du./300 ft	75 ft	50 ft	100 ft	75 ft	50 ft	100 ft	20%	40 ft ridge 35 ft flat	40 ft ridge 35 ft flat
MHP	1 du./15,000sf	15,000 sf	1 du./100 ft	15 ft	10 ft	10 ft	15 ft	10 ft	10 ft	20%	40 ft ridge 35 ft flat	25 ft ridge 20 ft flat
FP		40,000 sf	300 ft	200 ft	200 ft	200 ft	200 ft	200 ft	200 ft	10%	40 ft ridge 35 ft flat	25 ft ridge 20 ft flat
AMU	1 du./40,000sf	40,000 sf	150 ft	30 ft	15 ft	25 ft	30 ft	10 ft	10 ft	30%	40 ft ridge 35 ft flat	25 ft ridge 20 ft flat

Additional Considerations

- (1) = In all districts, total front yard coverage shall not exceed 30%.
- (2) = 45 foot front yard setback required for primary and accessory structures on highways (see Article 2.05 Setbacks & Buffers)
- (3) = Minimum lot size and setbacks may be reduced when approved in accordance with Article Nine, Planned Unit Developments
- (4) = In an Industrial District side or rear yard setback on any lot abutting a residential use or district shall be 100 ft.
- (5) = In the Agricultural District, silos and grain elevators shall be excluded from height restrictions.
- (6) = The height of buildings may be increased in accordance with Article Two Section Seven.
- (7) = Multi-family = MU
- (8) Please consult associated Article and Section in Zoning Regulations for additional considerations and requirements.
- (9) In accordance with Section 2.06E herein accessory structure heights may be increased up to up to thirty (30) feet in height or the height of the primary structure whichever is less.
- (10) The AMU District has a minimum .5 acre lot size and maximum 1 acre lot size for residential lots. Lot coverage in the AMU District may be increased in accordance with Section 6.04E.
- (11) The dimensional standards for the GD3 District can be found in Section 4.03 of the Zoning Regulations.

Class I = Municipal water and either municipal sewer or community septic
Class II = Individual on-site septic

APPENDIX E: ZONING REGULATION AMENDMENTS

SUPPLEMENT #32

PROPOSAL	PLANNING COMMISSION PUBLIC HEARING	WARNED FOR SELECT BOARD	ADOPTED	EFFECTIVE DATE
<ol style="list-style-type: none"> 1. Add Section 3.02F(2) of the Zoning Regulations to conditionally allow medical office use in the R2 District along Heineberg Road. 2. Amend Table A-1 of the Zoning Regulations to conditionally allow medical office use in the R2 District along Heineberg Road. 3. Amend Section 11.07(A) & (B) to conform to revised 24 V.S.A. Section 1974(a) for fines. 4. Remove "Life Safety" and replace with "Building" Inspector throughout. 5. Amend Section 8.10E(3) to insert "an undue" to comply with 24 V.S.A. Section 4414(3)(A). 6. Amend Section 10.01I to comply with 2010 ADA standards for accessible parking spaces. 7. Amend Section 2.05 Setbacks and Buffer to remove applicability to GD3 District. 8. Amend Section 10.01 to remove applicability of parking standards to GD3 District. 9. Strike and replace Section 4.03 GD3 District. 10. Strike GD3 District from Table A-1 Table of Permissible Uses and reference Section 4.03 instead. 11. Strike GD3 District from Table A-2 Dimensional 				

Requirements and reference Section 4.03 instead.			
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SUPPLEMENT #31

PROPOSAL	PLANNING COMMISSION PUBLIC HEARING	WARNED FOR SELECT BOARD	ADOPTED	EFFECTIVE DATE
<p>12. Amend Section 2.07 of the Zoning Regulations to exempt piers, docks, and similar structures from permits.</p> <p>13. Amend Section 2.18 to clarify multi-tenant building signage and projecting signage height requirements</p> <p>14. Amend Section 2.09A(2) to conditionally allow larger accessory structures on larger parcels.</p> <p>15. Amend Section 7.03 to exempt piers, docks, and similar structures from permits. Clarify enlargement of residential structures requirements, and fence and boat launching ramp permitting requirements.</p> <p>16. Amend Section 9.01C(9) to clarify buffer requirements.</p> <p>17. Amend Section 11.03C to include sign permit effective dates.</p> <p>18. Amend Section 11.05A align with Building Permit requirements of Chapter 4 of the Colchester Code of Ordinances.</p> <p>19. Amend Section 12.02 definitions of Marina and Residential Marine Association to remove hazard to</p>	2/21/12	4/19/12	5/8/12	5/30/12